



450 S. Parish Avenue  
Johnstown, CO 80534  
970.587.4664  
JohnstownCO.gov

## PLANNING AND ZONING COMMISSION

450 S. Parish, Johnstown, CO  
Wednesday, February 14, 2024 at 7:00 PM

---

*MISSION STATEMENT: Enhancing the quality of life of our residents, businesses, and visitors through community focused leadership.*

---

### AGENDA

#### CALL TO ORDER

#### ROLL CALL

#### APPROVAL OF AGENDA

#### APPROVAL OF MINUTES

1. January 24th Meeting Minutes

**PUBLIC COMMENTS** - *Regarding items and issues not included as a Public Hearing on this Agenda (limited to 3 minutes each)*

#### NEW BUSINESS

2. The North Ridge Design Guidelines
3. The Ridge Design Guidelines
4. Proposed subdivision of approximately 106.7 acres to create eight buildable lots and two large tracts for future subdivision.
5. Front Range Fire Rescue Annexation (ANNX22-0004)

#### DEPARTMENTAL REPORT

#### COMMISSIONER REPORTS AND COMMENTS

#### ADJOURN

---

### AMERICANS WITH DISABILITIES ACT NOTICE

In accordance with the Americans with Disabilities Act and other applicable laws, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at 970-587-4664 no later than 48 hours before the meeting in order to request such assistance.

De conformidad con la Ley de Discapacitados Estadounidenses y otras leyes vigentes, los individuos que necesitan adaptaciones funcionales para asistir o participar en esta reunión deberán comunicarse con la Municipalidad marcando el 970 587- 4664 a lo más tardar 48 horas antes de dicha reunión para solicitarla.

---



## PLANNING & ZONING COMMISSION REGULAR MEETING

7:00 PM, Wednesday, January 24, 2024

### SUMMARY MINUTES

The meeting was called to order by Chair Grentz at 7:00 P.M. Roll call and attendance were taken. Present were Commissioners Campbell, Jeanneret, Urban, and Chairman Grentz. Hatfield, Hayward, and Flores were absent and excused.

The agenda was amended. The zoning portion of the annexation was removed from the agenda as per the applicant's request to come back after conversations with staff.

M: Jeanneret/ 2<sup>nd</sup> Grentz. This was passed 4/0.

Minutes of the regular meetings held on November 1<sup>st</sup>, 2023. Minutes were approved 4/0.

No public comment.

The Public Hearing for the **Larson Annexation (ANX22-0001)** was opened. Staff was asked to present their report. Jeremy Gleim, the new Johnstown Planning & Development Director, presented an overview of the land that was to be annexed into town. Gleim was sure to state that with the amendment of the agenda, the zoning of the property would be considered at a future public meeting, and that public notices would be sent prior to said meeting. No further questions were asked at this time.

Morgan Kidder, Journey Homes, the applicant, was available to answer questions and offered some clarification as to why the zoning was not being presented at this time. He assured residents that there would be further conversations with the town to come to a resolution that Staff could support. The Commission did not have any questions for Kidder.

Grentz asked for commissioner comments prior to opening the hearing for public comment.

Burch, 1734 Suntide Dr, asked what was going to be built on that property. Grentz clarified again that this was not a hearing on zoning so there would be no knowledge at this time as to what uses would be allowed on the property. Gliem also stated that there would be another public notice when zoning was to be considered for this property. Burch also asked as to what the benefits were to annexing property into town limits. Grentz deferred to staff. Gliem stated that it offers the Town more control as to what would ultimately develop there, rather than having little to no control if not annexed. He also stated that it was not something typically initiated by the Town, but rather the property owner, as it offers benefits to them as well, specifically regarding services.

Schweitzer, 1731 Goldenvue Dr, stated that this process had already occurred back in 2020 and the plat that was shown at the meeting had double the amount of homes backing against the block of Goldenvue Estate homes. Schweitzer was curious as to what had changed since then and why it appeared that the

applicant had made no progress. Gliem stated that the 2020 meeting was a Neighborhood Meeting, which is a requirement of the annexation and zoning process. Schweitzer also asked what made the property a candidate to annex into Town Limits. Grentz deferred to staff and clarified that he was a volunteer and resident, so the scope of the questions asked should be directed at staff. Gleim followed this by stating that 1/6 of the property bordered town limits, which is one of the prerequisites for annexation consideration, amongst other things that are specified by the State.

Finger, 1837 Goldenvue Dr, stated for the record that he was not interested in having Journey homes product backing up against his property and would rather have estate style lots back up to the homes than what is being produced by journey homes.

Holle, 2005 Goldenvue Dr, brought up concerns as to whether water was going to be brought with the property and how drainage was going to occur on this site, as flooding has been an issue to the west of their neighborhood. Grentz stated that this was not something that would occur at the time of annexation.

Carlson, no address given, brought up concerns with the roadways as he felt like the Town was doing everything after the fact and not being upfront with the improvements that would be needed. Grentz stated that he understood that it felt that way and that it bothered him. He also mentioned that the reasoning for this would be that taxes would be even higher than they are now if they built these roads out to the ultimate design.

Blakeman, address not stated for the record, brought up concerns with this being a floodplain due to the detention pond in the Rolling Hills Ranch Subdivision not being adequate for the water on the site. Grentz & Gliem both stated that this would be a concern with the HOA and not with the future developer of the annexed area.

Davis, 2007 Goldenvue Dr, asked what the next steps for the residents would be to be involved, as this is an emotional topic for them. Gleim stated that there would be subsequent hearings on the zoning at a future date, and that notices would be sent to surrounding property owners. He encouraged the residents to participate in those hearings.

Commissioner Urban followed up with this and stated that there was an appreciation for them showing up and encouraged them to show up to town council meetings, as they [commissioners] were a recommending authority and not the final authority on these developments.

Commissioner Campbell asked what happens if the zoning portion takes longer than the 90 days specified by State law. Gleim stated that the land would revert to holding agricultural until a rezone was established.

The public hearing was closed and the commission held a vote.

M: Campbell / 2<sup>nd</sup>: Jeanneret

Vote: 4/0 to Recommend Approval for ANN22-0001. Unanimous approval by the commission was given.

Town Staff in attendance: Jeremy Gliem, Lilly Cory, Tony LeFevere

Commissioners had no reports . Campbell had a few questions regarding the Ledge Rock Development

with the new site that was going up on Highway 60. Cory offered some clarification about the site development plan. There were no further questions asked of staff. Meeting was adjourned.

Respectfully Submitted,  
Lilly Cory, Planner I



Accepted by Chair:

---



# Town of Johnstown

## PLANNING & ZONING COMMISSION AGENDA MEMORANDUM

---

**ITEM:** North Ridge Design Guidelines (ZON22-0007)

**DESCRIPTION:** The North Ridge Design Guidelines guide development for 59.9 acres and provides performance standards across The North Ridge development.

**LOCATION:** NE corner of I-25 and LCR 18/Hwy 402/Freedom Parkway.

**APPLICANT:** Ripley Design and TST Consulting Engineers on behalf of RIDGE II HOLDCO, LLC

**STAFF:** Tony LeFevre, Planner I

**HEARING DATE:** February 14, 2024

---

### ATTACHMENTS

- 1- Vicinity Map
- 2- North Ridge Outline Development Plan Amendment 1
- 3- North Ridge Design Guidelines

### BACKGROUND AND SUMMARY

The applicant, Ridge II HOLDCO, LLC, requests approval of the North Ridge Design Guidelines covering approximately 59.9 acres of land, located east of I-25 and north of Larimer CR 18/Highway 402/Freedom Parkway.

The application for the North Ridge Design Guidelines was originally taken to the Town of Johnstown Planning and Zoning Commission on August 10, 2022. The public hearing was opened and the staff report was given to the commission. The applicant requested tabling the Design Guidelines until a decision was made by Town Council concerning the North Ridge ODP Amendment 1. The request was granted and the application was tabled with the Planning and Zoning Commission.

### SURROUNDING ZONING & LAND USE

North: PUD – Thompson River Ranch single family residential  
East: PUD-MU – North Ridge at TRR single family residential & Larimer County – Rural Residential (RR2) single family residential  
South: PUD-MU – The Ridge PUD – planned commercial, retail & residential  
West: I-25 and PUD-MU – Mountain View Farms - planned commercial & residential uses

*The Community That Cares*

[johnstown.colorado.gov](http://johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO 80534 | F: 970.587.0141

## **PUBLIC NOTICE AND AGENCY REFERRALS**

Notice for the Planning and Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, February 1, 2024. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project.

Notices were mailed to all property owners within 500 feet of the property in questions. This notice included a map of the proposed zoning changes. Based upon the changes proposed, this land use designation amendment did not warrant a full referral review by the Johnstown Review Committee (JRC). No neighborhood meeting was required at the time of submittal.

No public comments or questions have been forthcoming to Town Staff, as of the publication date of this memorandum

## **STAFF ANALYSIS**

The North Ridge Design Guidelines are in substantial compliance with the Town of Johnstown Land Use Code. The Design Guidelines will provide consistent signage and design standards across the North Ridge Subdivision developments, as well as in adjacent properties to the west and south. These updated design guidelines provide clear design standards for future commercial, retail and residential within the North Ridge subdivision and they will supersede the minimal design standards in the North Ridge ODP Amendment 1 (see attached). The zoning of land within the North Ridge ODP Amendment 1 will remain the same, PUD-MU.

The North Ridge PUD ODP Amendment 1 includes a narrative in the signature block that states “The Annexation of the Bath Parcel will complete North Ridge and complement The Ridge Development bridging the two projects together through integrated concept design and uniform development standards.” The North Ridge Design Guidelines and The Ridge Design Guidelines fulfill this approved narrative as they have the same concept design as well as uniform development standards.

## **COMPREHENSIVE PLAN COMPLIANCE**

GOAL L1 of the adopted Johnstown Comprehensive Plan reads as follows: Ensure neighborhood character and amenities contribute to the health and wellbeing of diverse residents. Staff finds that the proposed design guidelines further this goal, because they establish consistent design standards for a large project area.

## **STRATEGIC PLAN COMPLIANCE**

GOAL: Expect and encourage community centered design.

*Strategy: Create and maintain neighborhoods and activity centers with high standards of site and architectural design.*

*The Community That Cares*

[johnstown.colorado.gov](http://johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO | F: 970.587.0141

Staff finds that the proposed design guidelines correlate directly with the Goal and Strategy listed above. Establishing comprehensive design guidelines for large projects and project areas creates neighborhood cohesion and an elevated sense of community beautification.

## **RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS**

It is recommended that Planning and Zoning Commission send a positive recommendation to Town Council concerning the North Ridge Design Guidelines based upon the substantial compliance with Town of Johnstown Land Use Code as well as the stated need for integration of concept design and uniform development standards as approved with the North Ridge PUD ODP Amendment 1. The North Ridge Design Guidelines are also in alignment with the Johnstown Comprehensive Plan and Johnstown Strategic Plan.

### **Recommended Motion**

Based on the application materials received and analysis and presentation at the hearing, the Planning & Zoning Commission moves to recommend to the Town Council approval of the North Ridge Design Guidelines.

### **Alternate Motion**

Motion to Deny: "I move that the Commission recommend to the Town Council denial of North Ridge Design Guidelines based upon the following..."







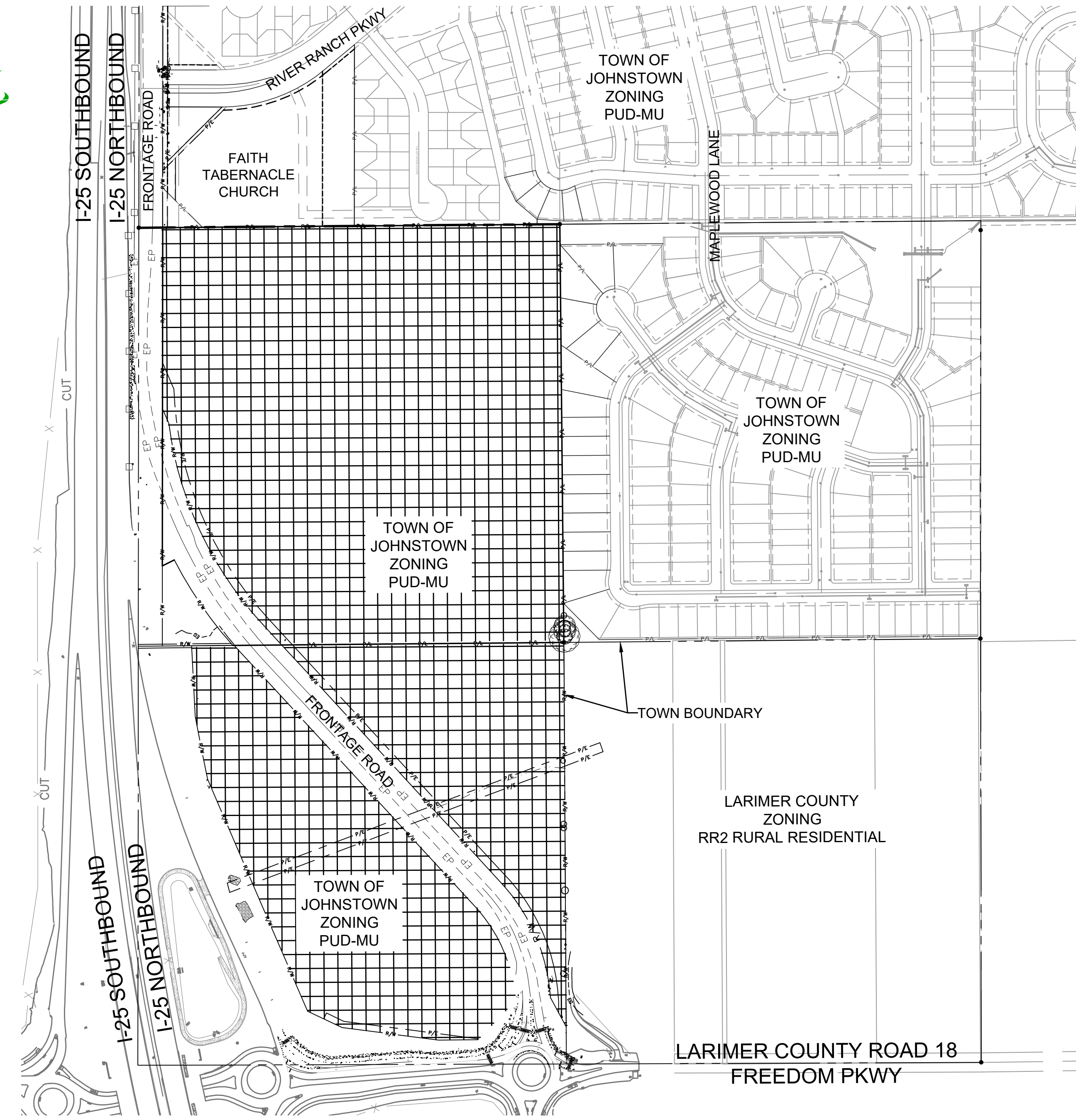
J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.  
4745 Boardwalk Drive  
Building D, Suite 200  
Fort Collins, CO 80525

Phone: 970.377.3602  
www.jub.com

# OUTLINE DEVELOPMENT PLAN AMENDMENT 01 NORTH RIDGE

LOCATED ON THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, COUNTY OF LARIMER, AND STATE OF COLORADO



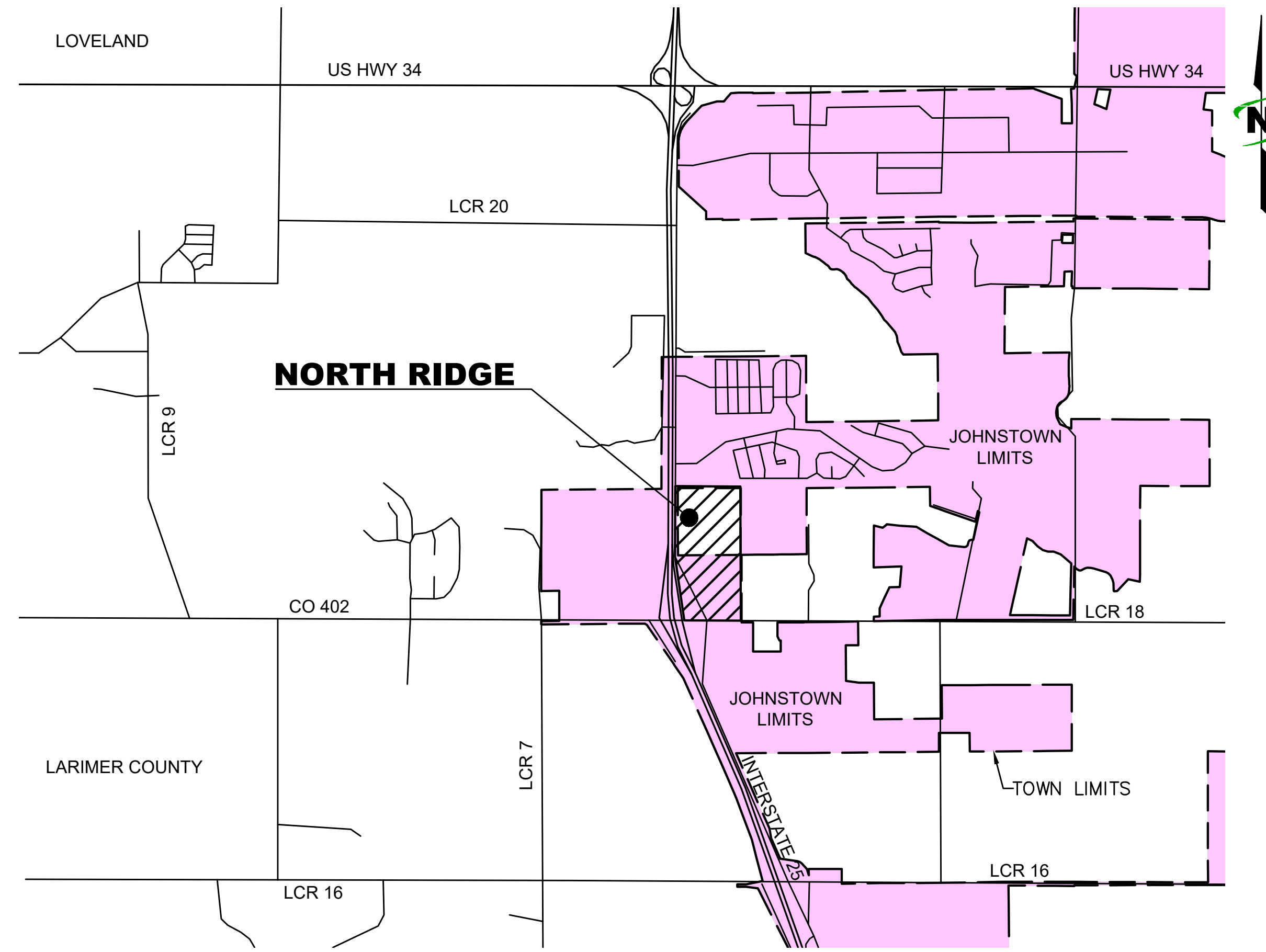
**EXISTING ZONING**  
SCALE: 1" = 250'

**GENERAL NOTES:**

1. ACCESS POINTS SHOWN ON THIS ODP ARE APPROXIMATE. EXACT LOCATIONS TO BE DETERMINED DURING THE PRELIMINARY AND FINAL PLATTING PROCESS BASED ON THE FINAL TRAFFIC IMPACT STUDY.
2. LOCAL AND COLLECTOR STREETS MAY CHANGE LOCATION, SIZE AND CONFIGURATION AT THE TIME OF FINAL PLATTING. LOCAL AND COLLECTOR STREETS WILL CONFORM TO THE TOWN OF JOHNSTOWN STREET STANDARDS.
3. ALL DENSITIES AND UNIT COUNTS ARE PROJECTIONS; FINAL DENSITIES TO BE DETERMINED AT TIME OF PLATTING. DENSITY OF ANY GIVEN PHASE WILL NOT EXCEED VALUES LISTED ON ODP-02. ACTUAL NUMBER OF UNITS WILL BE DETERMINED AT TIME OF RESIDENTIAL PARCEL PLATTING.
4. AREA OF DEVELOPMENT PARCELS SHOWN ARE APPROXIMATE AND MAY VARY. EXACT LOT SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBDIVISION SUBMITTAL.
5. FINAL CONFIGURATION OF PARCELS, OPEN SPACE AREA, AND STREETS MAY VARY FROM THAT SHOWN.
6. WHERE A PROPOSED USE IS NOT LISTED IN THE ODP, IT MAY BE ALLOWED IF DETERMINED BY THE TOWN OF JOHNSTOWN TO BE SIMILAR IN CHARACTER AND OPERATION, AND HAVING THE SAME OR LESSER IMPACT AS USES THAT ARE ALLOWED.
7. ALL DRAINAGE ELEMENTS ARE CONCEPTUAL IN NATURE AND FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE DURING THE PRELIMINARY AND FINAL DRAINAGE REPORTS AND DURING THE PRELIMINARY DEVELOPMENT PLAN PROCESS AS PART OF THE FINAL SUBDIVISION PLATTING.
8. LANDSCAPING, SIGNING, ARCHITECTURE, NON-RESIDENTIAL PARKING, FENCING, AND LIGHTING FOR DEVELOPMENT WITH THIS PUD WILL EITHER FOLLOW THOSE APPLICABLE STANDARDS IN THE TOWN OF JOHNSTOWN MUNICIPAL CODE OR THE DESIGN GUIDELINES SPECIFIC FOR CALIBER PROJECTS.

**DEVELOPMENT PHASING:**

IT IS ANTICIPATED THAT NORTH RIDGE WILL BUILD OUT NORTH AND SOUTH SIMULTANEOUSLY FOR LOT DELIVERIES IN 2023 AND BUILD-OUT IN 2024. CURRENT CONCEPT PLANS FOR COMMERCIAL, INCLUDE CONVENIENCE STORE WITH GAS, DRIVE-UP COFFEE, AND ADDITIONAL COMMERCIAL USES DETERMINED BY MARKET DEMAND IN PLANNING AREAS A, B AND C. PLANNING AREA D IS INTENDED FOR MULTI-FAMILY DWELLINGS. PLANNING AREA E IS BEING DEVELOPED INDEPENDENTLY AS SMALL LOT, SINGLE FAMILY BY AN ESTABLISHED JOHNSTOWN DEVELOPER.



**VICINITY MAP**  
SCALE: 1" = 2000'

**NARRATIVE:**

THE INTENT OF THIS OUTLINE DEVELOPMENT PLAN (ODP) IS TO PROVIDE THE FRAMEWORK FOR THE NORTH RIDGE JOHNSTOWN DEVELOPMENT. NORTH RIDGE JOHNSTOWN IS A CONTINUATION OF THE RIDGE AT JOHNSTOWN DEVELOPMENT, ALL OF WHICH WILL BRING NEEDED INFRASTRUCTURE, SERVICES, AMENITIES, AND TAX REVENUE TO THE TOWN.

THE ANNEXATION OF THE BATH PARCEL WILL COMPLETE NORTH RIDGE AND COMPLEMENT THE RIDGE DEVELOPMENT BRIDGING THE TWO PROJECTS TOGETHER THROUGH INTEGRATED CONCEPT DESIGN AND UNIFORM DEVELOPMENT STANDARDS. THE BATH PARCEL IS CONTIGUOUS TO AN EXISTING ANNEXED PARCEL IN THE TOWN ALLOWING INFRASTRUCTURE TO BE BROUGHT TO NORTH RIDGE FROM EITHER OR BOTH THE SOUTH AND THE NORTH IN COORDINATION WITH DEVELOPED PROJECTS. THE TOWN WILL BENEFIT FROM REVENUES GENERATED BY NEW BUSINESS, AND INCREASED EXPOSURE AND VISIBILITY ALONG I-25. THE COMMUNITY WILL HAVE ADDITIONAL COMMERCIAL RESOURCES NEEDED FOR A GROWING JOHNSTOWN.

**APPROVALS:**

TOWN COUNCIL

THIS OUTLINE DEVELOPMENT PLAN AMENDMENT 01, TO BE KNOWN AS NORTH RIDGE P.U.D. OUTLINE DEVELOPMENT PLAN AMENDMENT 01, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER 2023-\_\_\_\_, PASSED AND ADOPTED ON FINAL READING AT THE REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, HELD ON THE \_\_\_\_ DAY OF \_\_\_\_\_.

BY: \_\_\_\_\_  
GARY LEBSACK, MAYOR

ATTEST: \_\_\_\_\_  
HANNAH HILL, TOWN CLERK

NO.	REVISION	DESCRIPTION	BY	DATE

NORTH RIDGE DEVELOPEMNT  
JOHNSTOWN

OUTLINE DEVELOPMENT PLAN COVER  
AMENDMENT 01

FILE : 87-20-003\_ODPCOVER  
JUB PROJ # : 87-20-003  
DRAWN BY: ALM  
DESIGN BY: ALM  
CHECKED BY: \_\_\_\_\_  
1" = ONE INCH  
AT FULL SIZE. IF NOT ONE  
INCH, SCALE ACCORDINGLY  
LAST UPDATED: 1/24/2023  
SHEET NUMBER:  
**ODP-01**


**CONCEPT NOTE:**

CONCEPTUAL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE ELEMENTS ARE INCLUDED TO ILLUSTRATE FEASIBILITY OF THE SITE FOR THE PROPOSED LEVEL OF DEVELOPMENT AND PRESENT HIGH LEVEL DEVELOPMENT CONCEPTS ONLY.

# OUTLINE DEVELOPMENT PLAN AMENDMENT 01 NORTH RIDGE

LOCATED ON THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF LARIMER, AND STATE OF COLORADO

Item 2



**J-U-B ENGINEERS, INC.**  
4748 Boardwalk Drive  
Building D, Suite 200  
Fort Collins, CO 80525  
Phone: 970.377.3602  
www.jub.com

LEGEND	
	POTENTIAL FUTURE ACCESSES
	DEVELOPMENT PARCEL BOUNDARY (FOR GRAPHICAL PURPOSES ONLY)
	P/L PROPERTY BOUNDARY
	R/W RIGHT OF WAY
	JOHNSTOWN TOWN LIMITS

**PLANNING AREA BOUNDARIES:**

PLANNING AREA ACREAGE AND BOUNDARIES ARE PRELIMINARY AND SUBJECT TO CHANGE WITH DETAILED PLANNING. PLANNING ACREAGE MAY CHANGE UP TO 30% WITHOUT A MAJOR AMENDMENT TO THIS PUD DOCUMENT.

**PLANNING AREA INDEX:**

PLANNING AREA (PA)	APPROX. ACREAGE	ANTICIPATED USES	LOT COVERAGE
PA-A	±14.2	COMMERCIAL	70%
PA-B	±3.2	COMMERCIAL	60%
PA-C	±7.1	COMMERCIAL	50%
PA-D	±12.0	COMMERCIAL/RESIDENTIAL	—
PA-E	±23.4	RESIDENTIAL	—

**DENSITY:**

ANTICIPATED RESIDENTIAL DENSITIES ARE SPECIFIED WITHIN EACH PARCEL. THE FINAL DENSITY SHALL BE DETERMINED AT THE TIME OF PLATTING. NO MINIMUM DENSITIES ARE REQUIRED FOR RESIDENTIAL PLANNING AREAS.

**LAND USE SUMMARY:**

LAND USE	ACRES	PERCENTAGE (NEAREST 1%)
COMMERCIAL	24.5	41
RESIDENTIAL	35.4	59
TOTAL	60.0	100

OPEN SPACE	ACRES	PERCENTAGE (NEAREST 1%)
COMMERCIAL	3.7	15
RESIDENTIAL	10.6	30
TOTAL	14.3	23.8

**DEVELOPMENT STANDARDS: COMMERCIAL**

MAXIMUM HEIGHT	A: 130' B & C: 85' ALL AREAS UP TO 150' W/ CONDITIONAL USE GRANT
LANDSCAPE REQUIREMENT	20% LANDSCAPING
BUILDING SETBACK FROM HIGHWAY	50'
BUILDING SETBACK FROM ARTERIAL	25'
BUILDING SETBACK FROM FRONTAGE ROAD	20'
PARKING SETBACK FROM ROW	20'

**DEVELOPMENT STANDARDS: RESIDENTIAL**

	SINGLE FAMILY DETACHED	SINGLE FAMILY ATTACHED	MULTI FAMILY
MINIMUM LOT SIZE	1,400 SF	4,500 SF	N/A
MAXIMUM HEIGHT	35'	35' *50'	50' *70'
FRONT SETBACK TO BUILDING	15' MIN.	15' MIN.	15' MIN.
FRONT SETBACK TO GARAGE	10' MIN.	10' MIN.	10' MIN.
FRONT SETBACK TO SIDE LOADED GARAGE	10' MIN.	10' MIN.	10' MIN.
SIDE YARD SETBACK	5' MIN.	0' MIN.	0' MIN.
REAR YARD SETBACK (FRONT LOADED)	5' MIN.	5' MIN.	5' MIN.
REAR YARD SETBACK (ALLEY LOADED)	5' MIN.	5' MIN.	5' MIN.
SIDE (CORNER) SETBACK	15' MIN.	15' MIN.	15' MIN.

BUILDING SEPARATION PER FIRE CODE  
\* PER CONDITIONAL USE GRANT

**NOTES:**

- ADDITIONAL DESIGN REQUIREMENTS FOR RESIDENTIAL DEVELOPMENT PER THE DESIGN GUIDELINES.
- PLANNING AREA E SHALL HAVE A MINIMUM 15' BUFFER YARD ADJACENT TO EXISTING RESIDENTIAL PROPERTIES, IN COMPLIANCE WITH THE TOWN LANDSCAPE STANDARDS (SEC. E.2), WITH 1 TREE AND 5 SHRUBS, PER 600 SF.
- PLANNING AREA E SHALL PERMIT ONLY SINGLE FAMILY DETACHED HOMES WITHIN 150'-FEET OF THE NORTH AND EAST BOUNDARIES. ANY ATTACHED OR MULTI-FAMILY HOUSING TYPES SHALL BE PLACED OUTSIDE OF THIS USE-TRANSITION BUFFER AREA.
- THE PLANNING DIRECTOR MAY APPROVE ADJUSTMENTS TO RESIDENTIAL SETBACKS THAT MAY BE NECESSARY DUE TO PARCEL SIZE, CONFIGURATION, OR OTHER CONSTRAINT.

**OPEN SPACE, PARKS, & WALKS/TRAILS:**

**OPEN SPACE:**

- 30% OF RESIDENTIAL ACREAGE IS REQUIRED TO BE OPEN SPACE.
- PARK SPACE WILL BE COUNTED TOWARDS OPEN SPACE REQUIREMENTS.
- OPEN SPACE INCLUDES STREETSCAPES OUTSIDE OF ROW, HARDSCAPES, PLAZAS, FOUNTAIN AREAS, PONDS, AND AREAS SUCH AS SIDEWALKS WITH BENCH SEATING.
- SIDEWALKS ARE REQUIRED TO BE 10' WIDE AND 6" DEEP REINFORCED CONCRETE ALONG STANDARD ARTERIAL STREET SECTIONS. DETACHED AND MEANDERING SIDEWALKS PROPOSED AS FEASIBLE.

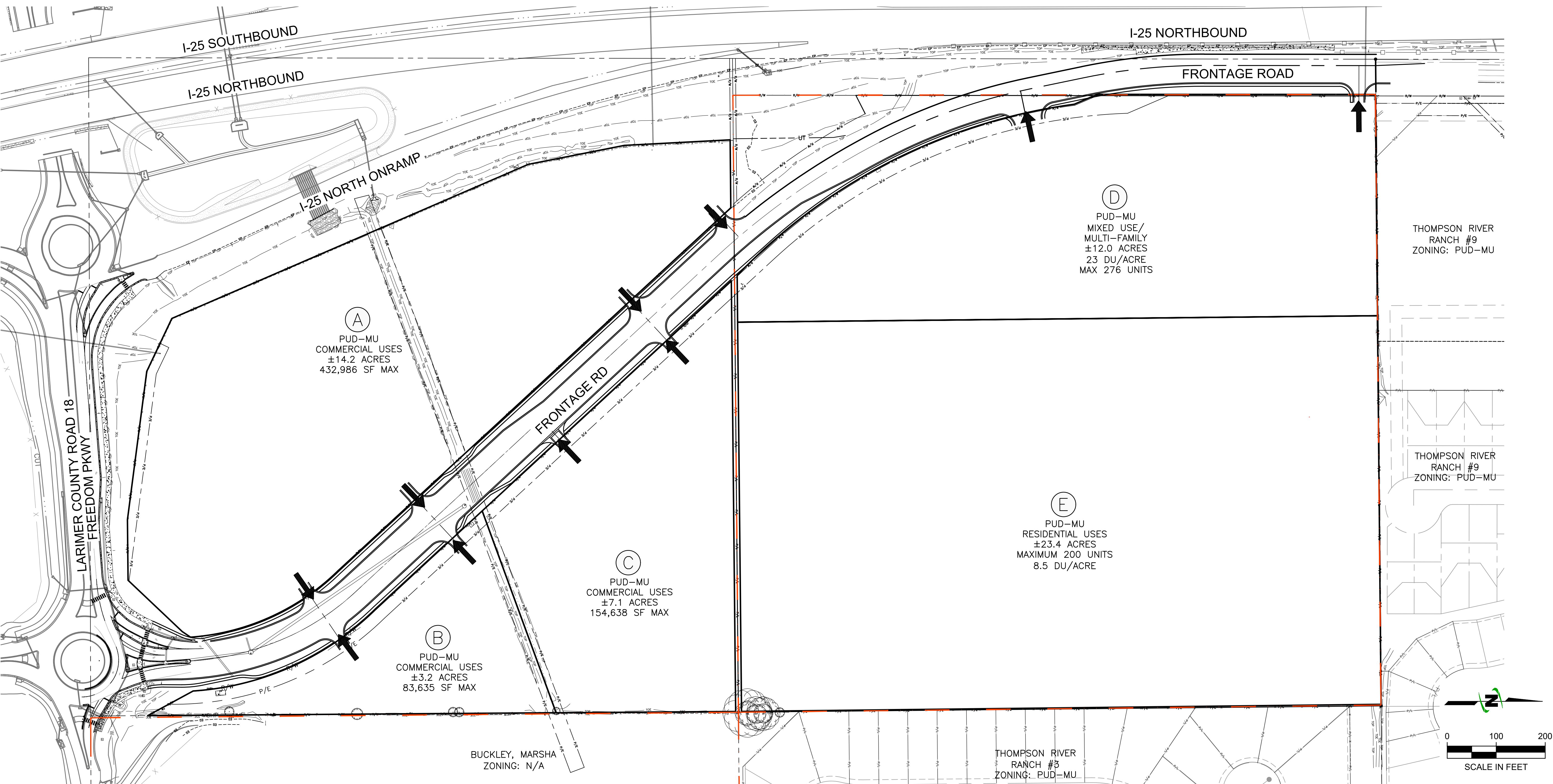
**PARKS AND RECREATION:**

- 10% OF RESIDENTIAL ACREAGE IS REQUIRED TO BE DESIGNATED AS LAND USE FOR PARKS AND RECREATION.
- PARKS MAY BE PRIVATELY OR PUBLICLY OWNED, TO BE DETERMINED AT THE TIME OF FINAL PLAT.
- ALL PARKS, NO MATTER IF OWNERSHIP IS PUBLIC OR PRIVATELY HELD, WILL BE ACCESSIBLE TO THE GENERAL PUBLIC, REGARDLESS OF RESIDENCY STATUS.

**PARCEL DESIGN INTENT:**

PARCEL A, B AND C: THE DESIGN INTENT FOR PLANNING AREAS A, B AND C IS TO ALLOW FOR A WIDE RANGE OF COMMERCIAL DEVELOPMENT USES, WHICH COULD INCLUDE CONVENIENCE STORE WITH GAS, DRIVE-UP COFFEE, AND ADDITIONAL COMMERCIAL USES DETERMINED BY MARKET DEMAND.

PARCEL D AND E: THE DESIGN INTENT FOR PLANNING AREA D AND E IS TO ALLOW FOR RESIDENTIAL DEVELOPMENT. RESIDENTIAL DEVELOPMENT COULD INCLUDE SINGLE-FAMILY, MULTI-FAMILY USES.



**FINAL EXHIBIT**

NO.	DESCRIPTION	BY	DATE

REUSE OF DRAWINGS  
JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RIGHTS IN THIS DOCUMENT. ANY REUSE OF THIS DOCUMENT WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

**NORTH RIDGE DEVELOPEMNT JOHNSTOWN**

**NORTH RIDGE OUTLINE DEVELOPMENT PLAN AMENDMENT 01**

FILE : 87-20-003 ODP  
JUB PROJ. # : 87-20-003  
DRAWN BY: ALM  
DESIGN BY: ALM  
CHECKED BY: \_\_\_\_\_

SCALE: ONE INCH = 100 FEET  
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
LAST UPDATED: 1/25/2023

SHEET NUMBER:  
**ODP-02**

Plot Date: 1/25/2023 10:44 AM Plotted By: Philip Melnik  
Date Created: 8/28/2022 \JUB\COM\CENTRAL\CLIENTS\CO\CALIBER\DEVELOPMENT\PROJECTS\87-20-003\_NORTH RIDGE\DESIGN\CAD\EXHIBITS\ODP\87-20-003\_ODP.DWG

**CONCEPT NOTE:**

CONCEPTUAL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE ELEMENTS ARE INCLUDED TO ILLUSTRATE FEASIBILITY OF THE SITE FOR THE PROPOSED LEVEL OF DEVELOPMENT AND PRESENT HIGH LEVEL DEVELOPMENT CONCEPTS ONLY.

**LEGEND:**

- 4900 --- EXISTING MAJOR CONTOUR
- 4902 --- EXISTING MINOR CONTOUR
- SD --- EXISTING STORM PIPE
- BASIN BOUNDARY: ONSITE
- BASIN BOUNDARY: OFFSITE
- BASIN BOUNDARY: PROPERTY LINE
- H-1 ○ BASIN ID
- C-MINOR AREA
- C-MAJOR AREA
- △ 3 DESIGN POINT
- DIRECT FLOW ARROW
- OVERLAND FLOW ARROW
- CDOT ACCESS CONTROL LINE

**ULTIMATE BASIN HYDROLOGY (ESTIMATED)**

BASIN ID	AREA (acres)	IMPERVIOUS (%)	Q5 (cfs)	Q100 (cfs)
UP	0.30	65%	0.54	1.33
1S	10.84	75%	23.97	53.93
1N	7.90	76%	13.67	44.73
2S	3.14	65%	7.96	19.25
2N	7.81	67%	10.71	38.09
3N	13.14	83%	27.08	84.45
P4	23.35	75%	50.98	113.72
<b>TOTAL:</b>	<b>66.48</b>			

**ULTIMATE DETENTION PONDS (ESTIMATED)**

BASIN	AREA (acre)	100-YR DESIGN RATE (cfs)	100-YR MAX RELEASE RATE (cfs)	RELEASE RATE NOTE
P-UP	0.3	1.3	1.0	Design Rate for Storm Line D-3 by CDOT
P1-S	10.8	53.9	22.5	Portion of 62.6-cfs into Drainage Swale
P1-N	7.9	44.7	16.4	Portion of 62.6-cfs into Drainage Swale
P2-S	3.1	19.2	6.5	Portion of 62.6-cfs into Drainage Swale
P2-N	7.8	38.1	16.2	Portion of 62.6-cfs into Drainage Swale
<b>TOTAL</b>	<b>62.6</b>			
3N	13.1	84.4	5.0	Design Rate for Inlet with TRR 9
P4	23.3	113.7	21.0	Design Rate for swale with TRR 3

NOTE: BASINS P-UP, P1-S, P1-N, P2-S, AND P2-N HAVE A MAXIMUM COMBINED RELEASE RATE OF 62.6-CFS INTO THE EXISTING DRAINAGE SWALE. THE MAXIMUM RELEASE RATES NOTED ABOVE ARE CALCULATED ON THE RATIO OF AREAS; THESE RATES MAY BE MODIFIED WITH ULTIMATE DESIGN BUT CAN NOT EXCEED THE 62.6-CFS TOTAL RELEASE RATE INTO THE SWALE.

**AMENDMENT 01 NOTE:**

BASIN BOUNDARIES AND FLOW RATES SHOWN FOR CONCEPTUAL ULTIMATE DESIGN. IMPERVIOUS VALUES ARE ESTIMATED FOR DEVELOPED CONDITIONS. SEE PICP DRAINAGE REPORT FOR EXISTING CONDITIONS EVALUATION, PROPOSED DRAINAGE IMPROVEMENTS AND ULTIMATE CONDITION EVALUATION. MAXIMUM RELEASE RATE AT PROJECT BOUNDARY LOCATIONS FOR DEVELOPED CONDITIONS LABELED HEREIN.

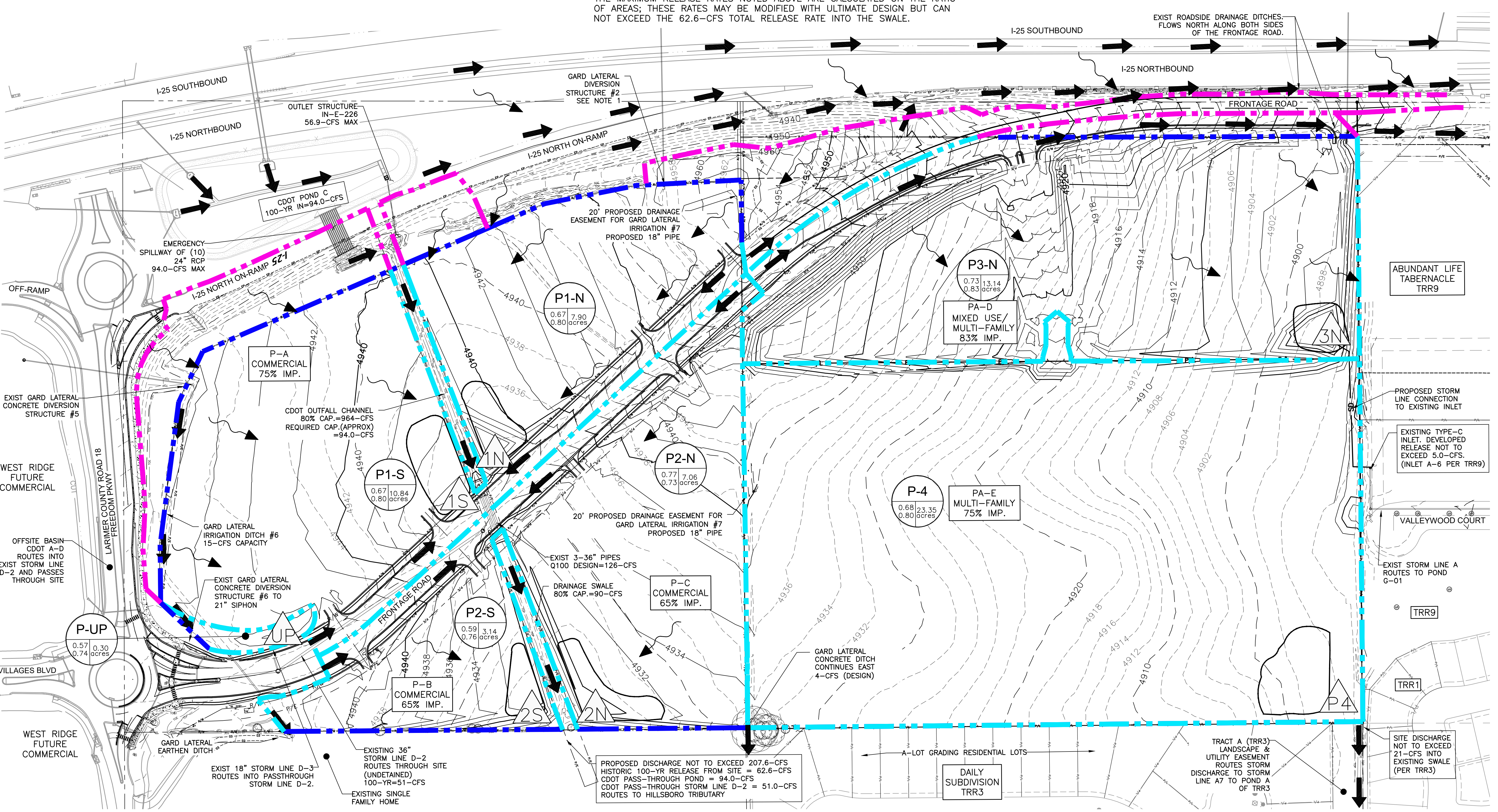
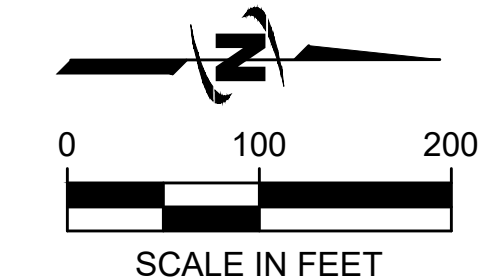
**NOTES:**

FOR 100-YEAR STORM ANALYSIS; ASSUME IRRIGATION DITCHES ARE FULL. ASSUME STORM WATER WILL OVERTOP EXISTING IRRIGATION EARTHEN DITCHES.

TRR - THOMPSON RIVER RANCH  
CDOT - COLORADO DEPARTMENT OF TRANSPORTATION

PROPOSED POND SIZING IS APPROXIMATE USING RATIONAL FAA PROCEDURE BASED ON SITE CONDITIONS AND ASSUMPTIONS SHOWN ON THIS EXHIBIT AND 2- FEET OF FREEBOARD. FINAL POND SIZING SHALL BE UPDATED AS SITE DEVELOPMENTS ARE FINALIZED.

TYPE B SOIL TYPE.



**JUB**  
J-U-B ENGINEERS, INC.  
J-U-B ENGINEERS, INC.  
4745 Boardwalk Drive  
Building D, Suite 200  
Fort Collins, CO 80525  
Phone: 970.377.3602  
www.jub.com

**FINAL EXHIBIT**

NO.	DESCRIPTION	BY	DATE

**REUSE OF DRAWINGS**  
JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND TRADEMARK RIGHTS IN THIS DOCUMENT. ANY REUSE OF THIS DOCUMENT WITHOUT JUB'S PRIOR WRITTEN CONSENT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

**REVISION**

**NORTH RIDGE DEVELOPMENT JOHNSTOWN**

**NORTH RIDGE MASTER GRADING AND DRAINAGE PLAN AMENDMENT 01**

FILE: 87-20-003 MASTERGRADING PLAN  
JUB PROJ #: 87-20-003  
DRAWN BY: ALM  
DESIGN BY: ALM  
CHECKED BY: ALM  
DATE: 1/24/2023  
SHEET NUMBER: ODP-03

Plot Date: 1/24/2023 5:00 PM Plotted By: Philip Mankie  
 Date Created: 5/21/2022 \JUB\COM\CENTRAL\CLIENTS\CALIBER\DEVELOPMENT\PROJECTS\87-20-003\_NORTH RIDGE\DESIGN\CAD\EXHIBITS\ODP\87-20-003\_MASTERGRADING\LAND.DWG

CONCEPT NOTE:

CONCEPTUAL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE ELEMENTS ARE INCLUDED TO ILLUSTRATE FEASIBILITY OF THE SITE FOR THE PROPOSED LEVEL OF DEVELOPMENT AND PRESENT HIGH LEVEL DEVELOPMENT CONCEPTS ONLY.

# OUTLINE DEVELOPMENT PLAN AMENDMENT 01 NORTH RIDGE

LOCATED ON THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF LARIMER, AND STATE OF COLORADO

LEGEND	
	DEVELOPMENT PARCEL BOUNDARY (FOR GRAPHICAL PURPOSES ONLY)
	P/L PROPERTY BOUNDARY
	R/W RIGHT OF WAY
	JOHNSTOWN TOWN LIMITS
	DOMESTIC WATER
	SANITARY SEWER

ESTIMATED WASTEWATER FLOW:

PLANNING AREA (PA)	ANTICIPATED USES	DENSITY (MAX.)	APPROX. ACREAGE	AVERAGE FLOW (gpd)	PEAK FLOW (gpd)
PA-A	COMMERCIAL	6 UNITS/ACRE	±14.2	22,010	44,020
PA-B	COMMERCIAL	6 UNITS/ACRE	±3.2	4,800	9,920
PA-C	COMMERCIAL	6 UNITS/ACRE	±7.1	10,650	22,010
SOUTH TOTAL:			±24.5	37,460	75,950
PA-D	COMMERCIAL/RESIDENTIAL	23 UNITS/ACRE	±12.0	18,600	37,200
PA-E	RESIDENTIAL	8.5 UNITS/ACRE	±23.4	43,758	175,038
NORTH TOTAL:			±35.4	62,358	212,238

ESTIMATED WATER DEMAND:

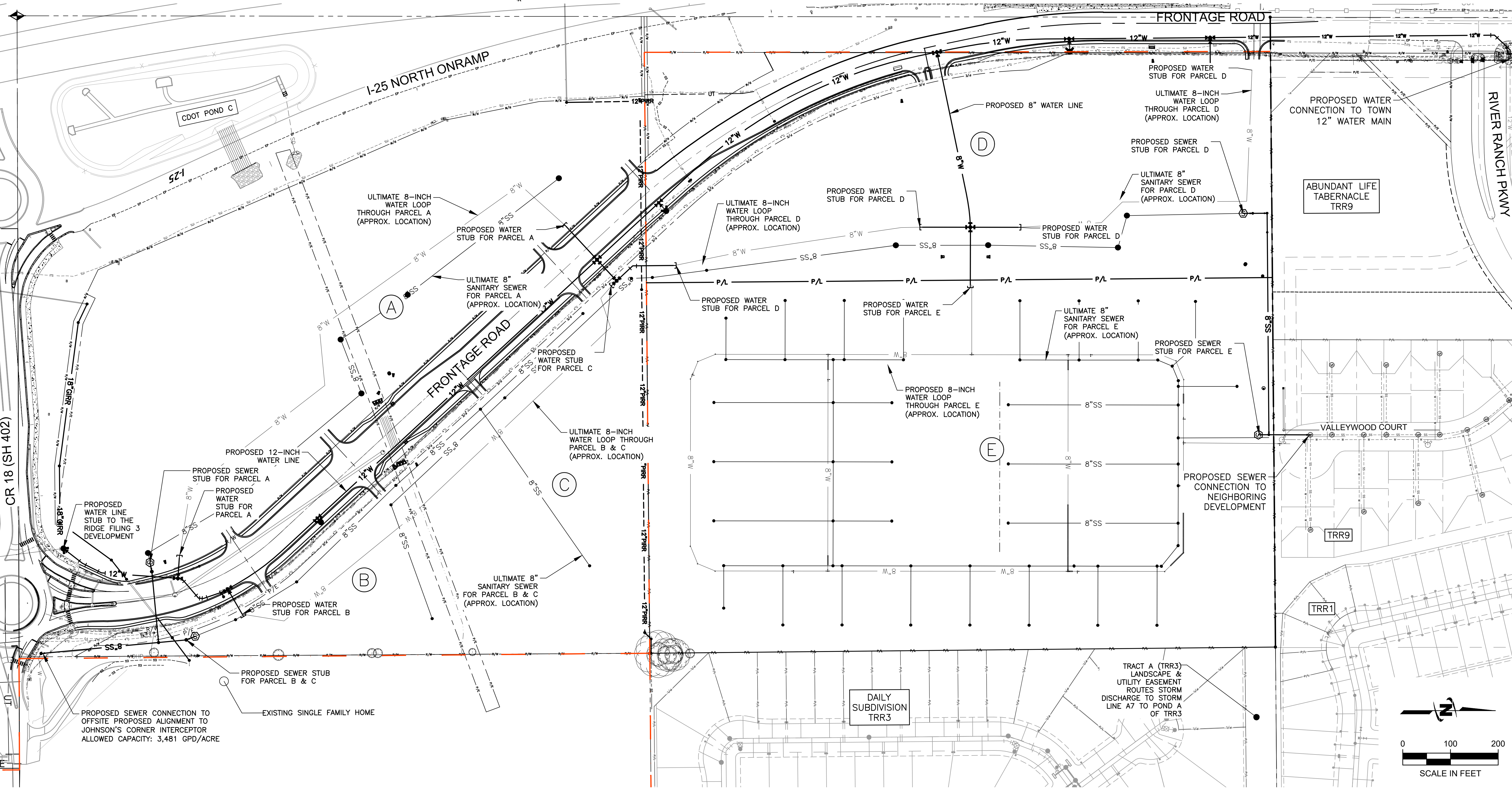
PLANNING AREA (PA)	ANTICIPATED USES	DENSITY (MAX.)	APPROX. ACREAGE	AVERAGE FLOW (gpm)	MAX DAY DEMAND + FIRE FLOW (gpm)	PEAK FLOW (gpm)
PA-A	COMMERCIAL	6 UNITS/ACRE	±14.2	16.8	3,034	50.3
PA-B	COMMERCIAL	6 UNITS/ACRE	±3.2	3.8	3,008	11.3
PA-C	COMMERCIAL	6 UNITS/ACRE	±7.1	8.4	3,017	25.1
PA-D	RESIDENTIAL	23 UNITS/ACRE	±12.0	86.3	3,173	258.8
PA-E	RESIDENTIAL	8.5 UNITS/ACRE	±23.4	62.2	3,124	186.5

WASTEWATER CALCULATIONS AND ASSUMPTIONS:

RESIDENTIAL AVERAGE DAILY FLOW (ADF) = 220 GPD/SFE\*  
 \*INCLUDES ALLOWANCE FOR 1/1  
 COMMERCIAL AVERAGE FLOW = 1,550 GPD/ACRE  
 COMMERCIAL PEAKING FACTOR = 2  
 RESIDENTIAL PEAKING FACTOR =  $2.6 * Q_A^{-0.16}$   
 $Q_A$  = AVERAGE FLOW IN CFS

WATER CALCULATIONS AND ASSUMPTIONS:

RESIDENTIAL AVERAGE DAY FLOW (ADF) = 150 GPCD (450 GPD/SFE)  
 COMMERCIAL AVERAGE DAY FLOW (ADF) = 1,700 GPD/ACRE  
 FIRE FLOW AVAILABILITY = 3,000 GPM FOR 3 HOURS  
 MAXIMUM DAY FLOW (MDF) = 2 x ADF  
 PEAK HOUR FLOW = 1.5 x MDF



**JUB**  
 J-U-B ENGINEERS, INC.  
 J-U-B ENGINEERS, INC.  
 4745 Boardwalk Drive  
 Building D, Suite 200  
 Fort Collins, CO 80525  
 Phone: 970.377.3602  
 www.jub.com

FINAL EXHIBIT

NO.	DESCRIPTION	BY	DATE

REUSE OF DRAWINGS  
 JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND PATENT RIGHTS IN THIS DOCUMENT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF JUB. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

NORTH RIDGE DEVELOPEMNT JOHNSTOWN  
 NORTH RIDGE MASTER UTILITY PLAN AMENDMENT 01

FILE : 87-20-003 MASTERUTILITYPLAN  
 JUB PROJ # : 87-20-003  
 DRAWN BY: ALM  
 DESIGN BY: ALM  
 CHECKED BY:  
 1" = 40' SCALE  
 AT FULL SIZE IF NOT ONE INCH SCALE ACCORDINGLY  
 LAST UPDATED: 1/24/2023  
 SHEET NUMBER:  
**ODP-04**

Plot Date: 1/24/2023 4:59 PM Plotted By: Philip Mankie  
 Date Created: 5/29/2022 \\JUB.COM\CENTRAL\CLIENTS\CO\CALIBER\DEVELOPMENT\PROJECTS\87-20-003 NORTH RIDGE\DESIGN\CAD\EXHIBITS\ODP\87-20-003 MASTERUTILITYPLAN.DWG

## DESIGN GUIDELINES

January 24, 2024

**DEVELOPER:**

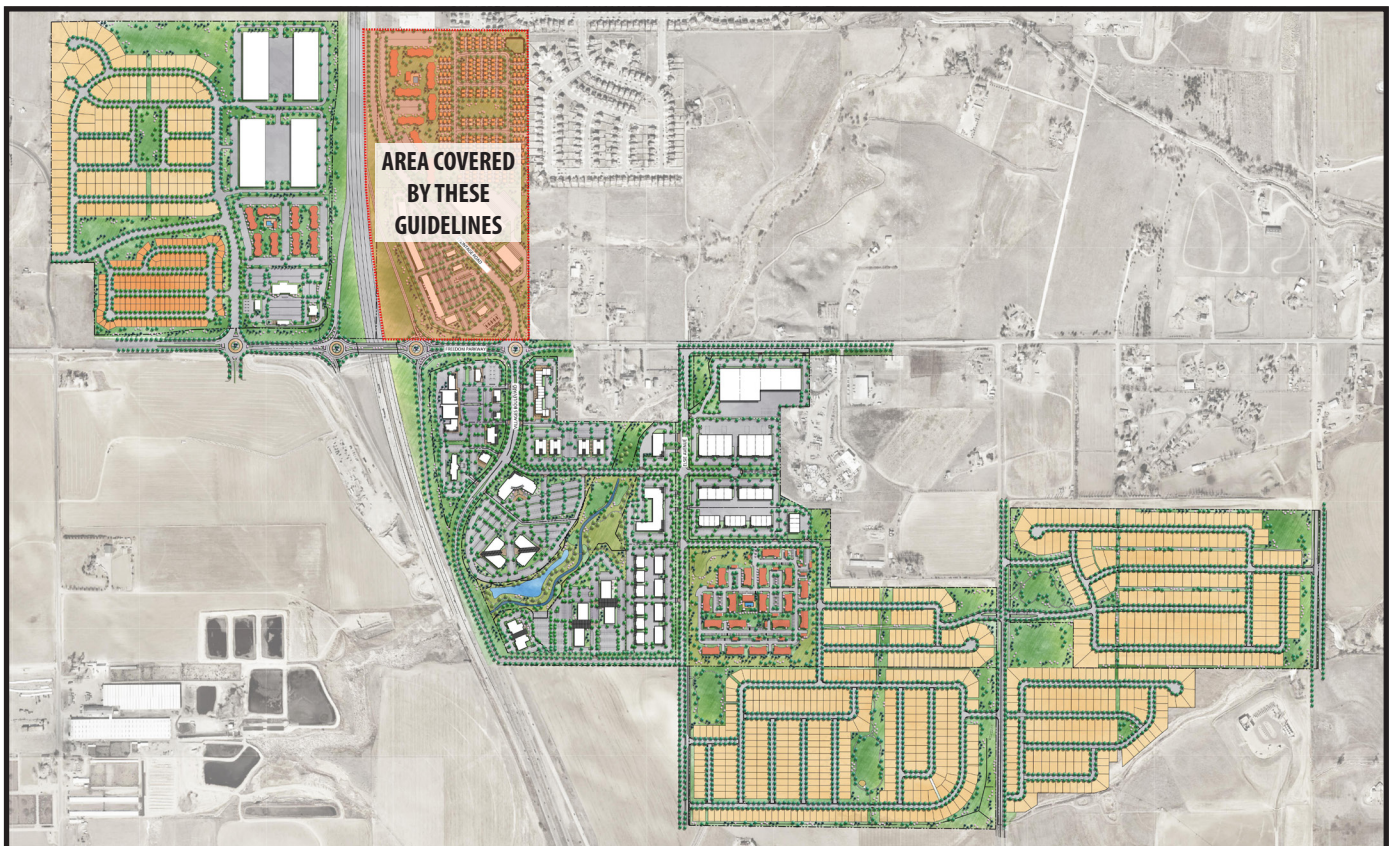
RIDGE II HOLDCO, LLC  
Roy Bade  
8901 E Mountain View Rd, Ste 150  
Scottsdale, AZ 85258  
480-398-4594

**LANDSCAPE ARCHITECTURE AND GUIDELINE PREPERATION**

RIPLEY DESIGN, INC.  
LAND PLANNING, LANDSCAPE ARCHITECTURE  
Russell Lee, PLA  
419 Canyon Avenue, Suite 200  
Fort Collins, CO 80521  
970-224-5828

**CIVIL ENGINEER:**

TST CONSULTING ENGINEERS  
Jonathan Sweet, PE  
748 Whalers Way  
Fort Collins, CO 80525  
970-226-0557



# CONTENTS

**1.0 Introduction..... 1**

**1.1 PURPOSE AND INTENT OF THE GUIDELINES . . . . . 1**

**1.2 THE VISION . . . . . 1**

**1.3 SITE DESCRIPTION . . . . . 2**

**1.4 PROPOSED LAND USE . . . . . 2**

1.4.1 LAND USE SETBACKS. . . . . 2

**1.5 LAND USES . . . . . 2**

1.5.1 RESIDENTIAL PRINCIPAL USES . . . . . 2

1.5.2 RESIDENTIAL SECONDARY USES . . . . . 2

1.5.3 PUBLIC PARKS AND RECREATION AREAS. . . . . 2

1.5.4 RESIDENTIAL PERMITTED ACCESSORY USES. . . . . 2

1.5.5 MULTI-FAMILY RESIDENTIAL PRINCIPAL USES . . . . . 2

1.5.6 MULTI-FAMILY RESIDENTIAL PERMITTED ACCESSORY USES. . . . . 3

1.5.7 RETAIL PRINCIPAL USES . . . . . 3

1.5.8 RETAIL PERMITTED ACCESSORY USES . . . . . 3

1.5.9 OFFICE PRINCIPAL USES . . . . . 3

1.5.10 OFFICE PERMITTED ACCESSORY USES . . . . . 3

1.5.11 LIGHT INDUSTRIAL PRINCIPAL USES . . . . . 4

1.5.12 LIGHT INDUSTRIAL ACCESSORY USES. . . . . 4

1.5.13 FLEX PRINCIPAL USES . . . . . 4

1.5.14 FLEX ACCESSORY USES . . . . . 4

1.5.15 OUTDOOR AND INDOOR FAMILY ENTERTAINMENT . . . . . 4

1.5.16 OPEN SPACE PRINCIPAL USES . . . . . 4

1.5.17 OPEN SPACE ACCESSORY USES . . . . . 4

**2.0 Procedures ..... 5**

**2.1 Design Review Committee & Procedures for Submittals & Approvals for Development Projects. . . . . 5**

**2.2 North Ridge DESIGN REVIEW COMMITTEE (DRC) . . . . . 5**

2.2.1 DRC APPROVAL PROCESS . . . . . 5

**2.3 JOHNSTOWN REVIEW COMMITTEE (JRC) . . . . . 5**

2.3.1 JRC APPROVAL PROCESS . . . . . 6

2.3.2 PRE-APPLICATION . . . . . 6

2.3.3 FINAL DEVELOPMENT PLAN SUBMITTAL AND PROCESS . . . . . 6

**2.4 JRC APPROVAL . . . . . 6**

**2.5 JRC APPEALS . . . . . 6**

**2.6 ADDITIONAL CRITERIA & UPDATES . . . . . 6**

**2.7 VARIANCES . . . . . 6**

**2.8 FINAL PLAN AMENDMENTS . . . . . 7**

**2.9 RELATIONSHIP TO OTHER DOCUMENTS . . . . . 7**

**2.10 STREETScape DESIGN . . . . . 8**

2.10.1 ENTRIES . . . . . 8

2.10.2 ARTERIALS AND COLLECTORS . . . . . 8

2.10.3 PRIMARY ENTRY SIGN . . . . . 10

2.10.4 SECONDARY ENTRY SIGN. . . . . 10

**2.11 LANDSCAPE GUIDELINES FOR PUBLIC PROPERTY . . . . . 10**

2.11.1 ARTERIAL RIGHTS-OF-WAY . . . . . 10

2.11.2 GUIDELINES FOR PRIVATE DRIVES. . . . . 10

2.11.3 PARKS, OPEN SPACE, REGIONAL DETENTION AND NATURAL AREAS . . . . . 10

**3.0 General Design Guidelines for Development 10**

**3.1 SITE ENGINEERING . . . . . 11**

3.1.1 SITE PLANNING & DESIGN . . . . . 11

3.1.2 STORM DRAINAGE . . . . . 11

3.1.3 UTILITIES, EASEMENTS & RIGHTS-OF-WAY . . . . . 11

3.1.4 GRADING . . . . . 11

**3.2 PEDESTRIAN, BICYCLE AND OTHER NON-MOTORIZED CIRCULATION . . . . . 12**

3.2.1 WALKWAY DESIGN CRITERIA . . . . . 12

3.2.2 BIKE LANES . . . . . 12

3.2.3 RECREATIONAL PATHS & TRAILS . . . . . 12

**3.3 VEHICULAR ACCESS & CIRCULATION. . . . . 12**

3.3.1 PARKING OVERHANG. . . . . 12

3.3.2 EMERGENCY ACCESS. . . . . 12

3.3.3 SIGHT TRIANGLES . . . . . 12

3.3.4 DRIVE-THROUGH FACILITIES . . . . . 12

**3.4 PARKING . . . . . 13**

3.4.1 PARKING LOT DESIGN . . . . . 13

3.4.2 DESIGN OF PARKING LOTS . . . . . 14

3.4.3 INTERIM PARKING LOTS . . . . . 14

3.4.4 BICYCLE PARKING . . . . . 14

**3.5 LANDSCAPING . . . . . 15**

3.5.1 LANDSCAPE DESIGN PRINCIPLES . . . . . 15

3.5.2 MICROCLIMATIC CONSIDERATIONS . . . . . 15

3.5.3 EXISTING VEGETATION PRESERVATION . . . . . 15

3.5.4 SCREENING . . . . . 16

3.5.5 LANDSCAPING - BIG BOX RETAIL STORES . . . . . 16

3.5.6 OFFICE, FLEX & LIGHT INDUSTRIAL LANDSCAPING. . . . . 16

3.5.7 PARKING PERIMETER LANDSCAPING REQUIREMENTS . . . . . 17

3.5.8 PARKING INTERIOR LANDSCAPING REQUIREMENTS . . . . . 17

3.5.9 SINGLE FAMILY LANDSCAPE GUIDELINES . . . . . 17

3.5.10 COMMON OPEN SPACE . . . . . 18

**3.6 LANDSCAPE FOR NON-SINGLE FAMILY RESIDENTIAL USES INCLUDING PUDS & MULTI-FAMILY RESIDENTIAL . . . . . 19**

3.6.1 LANDSCAPE PERFORMANCE STANDARDS . . . . . 19

3.6.2 IRRIGATION SYSTEMS . . . . . 19

3.6.3 SOIL AMENDMENT . . . . . 20

3.6.4 PLANT SELECTION AND DIVERSITY. . . . . 20

3.6.5 STREET TREE MINIMUM STANDARDS. . . . . 20

3.6.6 LANDSCAPE MAINTENANCE. . . . . 21

**3.7 SITE DEVELOPMENT SIGNAGE . . . . . 22**

3.7.1 PROJECT IMAGE. . . . . 22

3.7.2 NORTH RIDGE SIGNAGE SYSTEM . . . . . 22

3.7.3 PRIMARY ENTRY SIGN . . . . . 22

3.7.4 SECONDARY ENTRY SIGN . . . . . 22

3.7.5 PURPOSE . . . . . 22

3.7.6 PROHIBITED SIGNS. . . . . 22

3.7.7 SIGN AREA MEASUREMENT AND ALLOWANCES . . . . . 22

3.7.8 TEMPORARY SUBDIVISION SIGNS . . . . . 25

3.7.9 FREESTANDING SIGNS . . . . . 26

3.7.10 OTHER DISPLAY AND INFORMATIONAL ELEMENTS . . . . . 26

**3.8 SITE FURNISHINGS . . . . . 27**

3.8.1 SITE FURNITURE . . . . . 27

3.8.2 ART. . . . . 27

3.8.3 FENCING & WALLS . . . . . 27

3.8.4 LIGHTING . . . . . 27

**3.9 RETAIL BUILDING DESIGN STANDARDS. . . . . 28**

3.9.1 RETAIL DEVELOPMENTS . . . . . 28

3.9.2 BIG BOX RETAIL STORE DESIGN . . . . . 28

3.9.3 ROOF AND TOP TREATMENTS . . . . . 29

3.9.4 FREESTANDING STRUCTURES / ELEMENTS . . . . . 29

3.9.5 MATERIALS AND COLORS . . . . . 29

3.9.6 FACADES. . . . . 29

3.9.7 BUILDING ENTRANCES. . . . . 30

**3.10 DESIGN STANDARDS FOR VEHICLE SALES AND SERVICE ESTABLISHMENTS . . . . . 29**

**3.11 DESIGN STANDARDS FOR OUTDOOR & FAMILY ENTERTAINMENT . . . . . 29**

**3.12 OFFICE / FLEX / LIGHT INDUSTRIAL . . . . . 30**

**3.13 WAREHOUSING & DISTRIBUTION . . . . . 32**

**3.14 SINGLE FAMILY RESIDENTIAL. . . . . 33**

3.14.1 SINGLE FAMILY RESIDENTIAL SITE DESIGN. . . . . 34

3.14.2 RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS . . . . . 34

**3.15 Multi-Family Residential . . . . . 34**

**4.0 Definitions . . . . . 37**

# 1.0 Introduction

## 1.1 PURPOSE AND INTENT OF THE GUIDELINES

North Ridge is a master-planned community located at the north east intersection of Interstate 25 and Freedom Parkway in the growing Johnstown area. It is important to provide design guidelines that maintain the unique character and principles of the development and reflect the importance of the larger regional context. The purpose of the guidelines is to provide a manual to ensure that the character of North Ridge is maintained throughout the development and to provide instruction on acceptable site planning, circulation, streetscapes, parking, open space, landscaping, signage, site furnishings and lighting.

The design guidelines should be utilized by the Developer, builders, designers, architects, engineers, planners, and residents to find design, construction, and maintenance information for the community. These guidelines are to be used in conjunction with the North Ridge ODP documents. Section 1 contains the vision, site opportunities and constraints, proposed land use plan and information regarding submittal information for design review by the North Ridge Design Review Committee (DRC) and the Town of Johnstown (JRC). Community-wide design elements that convey the character of North Ridge are located in Section 3. The General Design Guidelines (Section 3) apply to all development and specific types of development requirements are located in Section 3. Civic uses should follow the guidelines for the areas in which they are located and will be reviewed on a case by case basis. Definitions can be found in the last section.

### *The Design Guidelines sections are as follows:*

- Introduction
- Procedures
- General Design Guidelines for Development
- Definitions

The Preliminary and Final Development Plans, preliminary and final plats and other development entitlement documents for North Ridge have been approved or require approval by the Town of Johnstown. These documents should be reviewed specifically for each development.

In addition, all developments within North Ridge are subject to the performance standards and guidelines that are contained in this document. In cases where this document or the approved development entitlement document for a given property is silent, the Town of Johnstown standards and regulations, in place at the time of project submittal, shall apply. Interpretation of conflicts within the zoning documents and the land use code shall be resolved by the Johnstown Board of Appeals. Refer to the Outline Development Plan for a summary of the types of land uses that are envisioned and corresponds to the specific design guideline sections in this document. All guidelines and standards are subject to the reasonable discretion of the DRC and JRC, which shall make a final determination in good faith.

The provisions of these Guidelines shall supersede any conflicting provision of the Johnstown Municipal Code and may only be modified to protect the health, safety, and welfare of the general public by the Town Board following at least thirty (30) days written notice to the record owner of any real property effected by the modification.

## 1.2 THE VISION

The vision for North Ridge is that of a high quality regional commerce center and mixed-use community that responds to the needs of the area and market forces, integrates with the natural environment, and provides vibrant places for people to shop, work, live and socialize. North Ridge will perform as a live, work, commerce concept that allows land uses such as residential, office and retail to relate to one another in an attempt to promote a mixed-use community. The character of the development is conveyed in the streetscape and signage allowing uses to express their individual themes without taking away from the overall development character. Key intersections will allow for landmarks that add to the development's character and provide interest on both the vehicular and pedestrian level.

### 1.3 SITE DESCRIPTION

The North Ridge site is ideally located at the intersection of I-25 and State Highway 402 on land that has historically been used for farming. The site is bordered on the north and east by the Thompson River Ranch subdivision that includes the Tabernacle just north of the boundary among mostly residential homes and opens spaces and a new elementary school. The site is bordered on the south by Freedom Parkway providing immediate access to I-25 with the newly constructed interchange and access to The Ridge mixed-use development to the south. The site is relatively flat, as typically is the case for farmland, and features prominent views from the highway into the site and from the site out to mountains. Major vehicular access points are located along Freedom Parkway and the Frontage Road. Proposed access points are illustrated in the proposed land use plan. Existing utility easements and rights-of-way are discussed in Section 3.1.3.

### 1.4 PROPOSED LAND USE

The Outline Development Plan (ODP) illustrates areas for development by breaking them down into categories. Categories may include more than one use; however, each use shall follow the general design guidelines as established in the following two sections, as well as the guidelines for specific uses established in Section 3. See the ODP drawings for land use metrics.

#### 1.4.1 LAND USE SETBACKS

BUILDING SETBACK FROM HIGHWAY	50'
BUILDING SETBACK FROM ARTERIAL	25'
BUILDING SETBACK FROM FRONTAGE ROAD	20'
BUILDING SETBACK FROM ROW	20'
BUILDING SETBACK FROM SIDE AND REAR	20'
PARKING AND DRIVE SETBACK FROM SIDE AND REAR PROPERTY LINES	5'
PARKING SETBACK FROM ARTERIAL AND COLLECTOR STREETS	10'
PARKING SETBACK FROM LOCAL STREETS	5'

### 1.5 LAND USES

*The land uses on the following pages show the general intent within each land use category. The lists contain specific examples for guidance purposes, but not by way of limitation. Refer to latest approved plans.*

#### 1.5.2 RESIDENTIAL PRINCIPAL USES

- A. Single-family detached dwellings
- B. Single-family attached dwellings

#### 1.5.3 RESIDENTIAL SECONDARY USES

- A. Fee simple townhomes
- B. Condominiums

#### 1.5.4 PUBLIC PARKS AND RECREATION AREAS

- A. Public recreation

#### 1.5.5 RESIDENTIAL PERMITTED ACCESSORY USES

- A. Private garages and paved parking areas
- B. Private residential and private group outdoor recreational facilities, including by way of example, but not of limitation, swimming pools and tennis courts
- C. Home occupations, subject to the limitations listed in the Town of Johnstown Zoning Code, and limited in that uses shall be conducted entirely within the dwelling, no advertising is displayed on the premises and no exterior storage is created
- D. Service buildings and facilities normally incidental to the use of a park or recreation area
- E. Any other structure or use clearly incidental to and commonly associated with the operation of a use permitted by right



### 1.5.6 MULTI-FAMILY RESIDENTIAL PRINCIPAL USES

- A. Multi-family dwellings including by way of example apartments, condominiums, lofts, flats, rowhomes, and townhomes.
- B. Private recreation
- C. Private clubhouse, club, and lodge
- D. Mixed-Use buildings containing both commercial and residential uses.

### 1.5.7 MULTI-FAMILY RESIDENTIAL PERMITTED ACCESSORY USES

- A. Leasing or sales offices and facilities.
- B. Maintenance shop and facilities.
- C. Private garages, parking structures, and paved parking areas.
- D. Storage facilities for on-site residents.
- E. Private residential and private group outdoor recreational facilities, including by way of example, but not of limitation, swimming pools, basketball courts, playgrounds, and tennis courts
- F. Home occupations, subject to the limitations listed in the Town of Johnstown Zoning Code, and limited in that uses shall be conducted entirely within the dwelling, no advertising is displayed on the premises and no exterior storage is created
- G. Service buildings and facilities normally incidental to the use of a public park or recreation area
- H. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

### 1.5.8 RETAIL PRINCIPAL USES

- A. Retail stores including, but not limited to, food stores, delicatessen, bakery goods store, liquor store, hardware store, drugstore, regional department stores, general merchandise, grocery, clothing, membership and wholesale clubs, showroom warehouse, sporting goods, specialty shops etc.
- B. Customer service establishments including, but not limited to, barber and beauty shops, restaurants and/or bar, drive-thru and drive-in restaurants, shoe repair shop, coin-operated laundromat and dry-cleaning establishment, fine art studio, etc.
- C. Banks and financial institutions
- D. Medical and dental clinics and other health care
- E. Commercial lodging
- F. Travel Centers
- G. Theater, performance and music venues, both indoor and outdoor.
- H. Rental and servicing establishments. Minor repair of consumer products like musical instruments, tools, appliances, cell phones, computers etc.
- I. Convenience/gasoline service stations and travel centers
- J. Motor vehicle sales, parts and service
- K. Retail sales of furniture, fixtures, equipment, home supplies and hardware
- L. Health clubs, exercise establishments, and recreation facilities
- M. Mixed-Use buildings containing: (i) a combination of commercial uses or (ii) a combination of commercial and residential uses, provided that residential uses on the first floor shall not exceed 50% of the Gross 1st Floor Building Area, excluding any internal or structured parking facilities.
- N. Indoor and/or outdoor and family entertainment and/or recreation facilities

### 1.5.9 RETAIL PERMITTED ACCESSORY USES

- A. Garages for storage of vehicles used in conjunction with the operation of business
- B. Brewing and/or distillation of alcoholic beverages in conjunction with the operation of a restaurant, bar or tap room
- C. Off-street parking and loading areas
- D. Commercial parking facilities

### 1.5.10 OFFICE PRINCIPAL USES

- A. Business and professional offices
- B. Banks and financial institutions
- C. Call centers
- D. Hospitals, surgery centers, skilled nursing centers, medical and dental clinics and other health care
- E. Public administrative offices and service buildings
- F. Public utility offices and installations
- G. Public library
- H. Private club or lodge

- I. Research and development, laboratories
- J. Commercial lodging
- K. Passenger transportation terminals
- L. Vocational and trade schools, colleges and universities, distance learning, early childhood and daycare.
- M. Elementary, Middle, Junior and Senior High Schools. Outdoor storage will be allowed for storage of components necessary for school use
- N. Laboratory and research facilities

### 1.5.11 OFFICE PERMITTED ACCESSORY USES

- A. Garages for storage of vehicles used in conjunction with the operation of business
- B. Off-street parking and loading areas
- C. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

### 1.5.12 LIGHT INDUSTRIAL PRINCIPAL USES

- A. Manufacturing, assembly, processing and fabrication plants
- B. Transportation terminals, including trucking
- C. General warehousing
- D. Brewing and distillation of alcohol
- E. Distribution centers
- F. Printing and publishing houses and related activities
- G. Automobile repair shops, repair and/or service
- H. General contractors and special trades contractor specializing in one or more trades of which the following are examples: plumbing and heating, painting and decorating, electrical work, glazing, insulation, carpentry and masonry
- I. Public utility offices and installations
- J. Enclosed Climate Controlled Storage Facilities

### 1.5.13 LIGHT INDUSTRIAL ACCESSORY USES

- A. Office, enclosed storage, power supply, warehouse distribution and other such uses normally auxiliary to the principal industrial use. Outdoor storage will be allowed for storage for necessary components of production. Outdoor storage shall be screened according to section 3.5.4 Screening.
- B. Motor vehicle storage
- C. Motor vehicle residential quarters for guards or caretakers
- D. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right
- E. Outside storage with screening as specified in section 3.5.4

### 1.5.14 FLEX PRINCIPAL USES

- A. Experimental, testing and research laboratories
- B. Passenger transportation terminals
- C. Data Centers
- D. Enclosed Climate Controlled Storage Facilities

### 1.5.15 FLEX ACCESSORY USES

- A. Office, enclosed storage, power supply and other such uses normally auxiliary to the principal flex use. Outdoor storage will be allowed for storage for necessary components of production
- B. General warehousing
- C. Distribution centers
- D. Parking and service areas
- E. Residential quarters for guards or caretakers
- F. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

### 1.5.16 OUTDOOR AND INDOOR FAMILY ENTERTAINMENT

- A. Restaurant
- B. Offices
- C. Educational classrooms
- D. Facilities for games of skill, athletic competition, and/or recreation (for example driving ranges, bowling alleys, ice rinks, swimming), electronic entertainment

### 1.5.17 OPEN SPACE PRINCIPAL USES

- A. Public or private parks and recreation areas
- B. Public, private, commercial and private group outdoor recreational facilities
- C. Buffers
- D. Trails
- E. Native areas
- F. Wildlife habitat

### 1.5.18 OPEN SPACE ACCESSORY USES

- A. Service buildings and facilities normally incidental to the use of a public park and recreation area
- B. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

## 2.0 Procedures

### **2.1 Design Review Committee & Procedures for Submittals & Approvals for Development Projects**

Johnstown and the Property Owners agree to develop and agree to performance standards for the purpose of addressing design considerations including architectural, site planning, landscaping, streetscape and sign elements for land uses within North Ridge. North Ridge Design Guidelines are the performance standards and serve as the design standards for the property owners' association, if any exists.

The following outlines the successive processes for submittals and approvals for development projects. Projects must first be submitted to the North Ridge Design Review Committee (DRC) before submitting to the Johnstown Review Committee (JRC). After approval is gained by both the DRC and the JRC, the project may be submitted for building permit application.

### **2.2 NORTH RIDGE DESIGN REVIEW COMMITTEE (DRC)**

The purpose of the DRC is to ensure proposed developments meet the standards as established in the Design Guidelines in order to maintain a consistency of planning and design for the entire project. The North Ridge Design Guidelines legally apply to all land that is part of North Ridge, regardless of ownership, and are in addition to the zoning and land use regulations of local government. The Design Guidelines and supporting documents are administered and enforced by the DRC, which shall consist of the following five members: one Civil Engineer with a minimum of ten years of experience in land planning or development, one Landscape Architect/Architect/Planner with a minimum of ten years of experience in land planning or development, two North Ridge development property owners and one representative from a commercial real estate brokerage or development company with a minimum of ten years of experience.

#### **2.2.1 DRC APPROVAL PROCESS**

Any proposal to construct, modify or demolish improvements within North Ridge must have plan approval from the DRC prior to commencement, and following DRC approval must also receive administrative approval, in accordance with these design guidelines, from the Town of Johnstown Planning & Development Director. The DRC's review and approval process also applies to signage, changes in property use, and maintenance activities that take place on, or with respect to, property that is part of North Ridge. After the DRC approves a plan submittal, an applicant may proceed with a project, but only in strict compliance with the terms and conditions of approval. The DRC may perform periodic site inspections, both during development and on an ongoing basis thereafter to ensure compliance.

The DRC meets as needed with submittals, and projects are placed on a formal meeting agenda only after applications have been submitted at least two weeks prior to a meeting. Formal presentations to the DRC are mandatory for most development projects, however, most details are reviewed through informal meetings with the DRC representatives. This process is designed to expedite the preparation and approval of the plans for any specific site where development is contemplated. There are three phases in the development approval process.

#### ***DRC process includes:***

- Pre-design Conference
- Design Development (includes plans and elevations)
- Final submittal

Approval is contingent upon the submittal of materials and payment of any designated fees or expenses, and favorable review. A "Notice of Committee Action" letter from the DRC will be sent to each applicant within a maximum of thirty (30) days after the date of the submittal. This notice will state whether approval or disapproval has been granted and outline any conditions associated with the ruling.

Review fees may be required for all DRC submittals and shall be paid for the phase scheduled for review on or before said review. If the DRC requires that the applicant attend additional meetings with a DRC member or consultants due to incomplete, inadequate or improper submittals, then the applicant shall be responsible for paying the full costs of such services. No written confirmation of a DRC action will be issued until all appropriate fees have been paid. A current schedule of fees is contained in the submittal procedures packet.

### **2.3 JOHNSTOWN REVIEW COMMITTEE (JRC)**

The Town's Review Committee will be composed of members prescribed by Johnstown Municipal Code, or currently established process. The Design Review Committee may seek the assistance of any other Town employee or consultant whose expertise is necessary to review the application. All Town subdivision and re-subdivision requirements, building codes, permits and fees, as adopted by the Town, do apply.

### 2.3.1 JRC APPROVAL PROCESS

All individual development projects in North Ridge shall be reviewed and approved by the Town pursuant to this approval process. This approval process shall supersede and replace all other Town approval processes for land use developments set forth in the Town of Johnstown's Zoning Code, Comprehensive Plan and any other applicable Municipal Ordinance provisions.

### 2.3.2 PRE-APPLICATION

The applicant shall schedule a pre-application conference with the Town Planner prior to submittal of any project proposal. The intent of this initial meeting shall be as follows:

- A. To informally discuss the overall context and development objectives for the proposed project.
- B. To review how the project has interpreted the guidelines and criteria for development of the project as set forth in the Design Guidelines.
- C. To review a sketch plan and architectural design concepts prepared by the applicant which illustrates overall site development and major site development components. The sketch plan is intended to be a very preliminary sketch of the development concept and not a formal site plan.

### 2.3.3 FINAL DEVELOPMENT PLAN SUBMITTAL AND PROCESS

All development projects shall be submitted in compliance with current Town standards and codes. Accompanying the application shall be all required fees as well as a certification from the North Ridge DRC stating that the development as proposed in the application meets all the applicable standards and guidelines of the North Ridge Design Guidelines. If the Town determines that the application is complete, the application shall then be reviewed by the JRC. If the Town determines that the application is incomplete, the Town shall specify in writing the specific ways in which the application is insufficient or incomplete. The JRC shall review the application for conformance with all of the applicable terms and conditions of the North Ridge Design Guidelines. Review of the application by the JRC is administrative in nature for the purpose of determining that the proposed development as set forth in the application complies with the terms and conditions of the North Ridge Design Guidelines. The JRC has the right to grant variances to the North Ridge Design Guidelines based upon the applicant's ability to demonstrate innovative approaches to design solutions, or future market conditions which the JRC feels is advantageous to, and in conformity with, the intent of the North Ridge Guidelines. In no event shall the JRC grant a variance to the permitted uses in a development parcel.

## 2.4 JRC APPROVAL

The JRC shall approve the application if it complies with the applicable terms and conditions of the North Ridge Design Guidelines. The JRC may approve the application with conditions. Said conditions shall be specifically related to compliance with standards and guidelines in the North Ridge Design Guidelines and any and all applicable codes, standards, and regulations. If not addressed within the North Ridge Design Guidelines the latest Town of Johnstown standards, codes and regulations shall apply. In the event the JRC determines that the proposed development in the application does not comply with the Design Guidelines, the JRC shall specify in writing the specific reasons in which the application does not meet the applicable criteria.

## 2.5 JRC APPEALS

The decision of the JRC may be appealed by the applicant to the Johnstown Town Council. The appeal shall be in writing and shall be made within forty-five (45) days of the date of the transmittal of the JRC's decision. The Johnstown Town Council shall hear the appeal within forty five (45) days of the filing of the appeal by the applicant. The decision of the Johnstown Town Council on the appeal shall be final.

## 2.6 ADDITIONAL CRITERIA & UPDATES

In addition to the criteria herein, the DRC and JRC may promulgate additional criteria that are not inconsistent with the criteria set forth herein. From time to time, any of these additional criteria may be amended by action of the DRC and JRC. Changes in land use or changes greater than the 20 percent dimensional criteria, which shall become a permanent part of the design guideline document, shall constitute a major change and shall be brought back to the Planning Commission and Town Council for review and approval.

## 2.7 VARIANCES

The DRC may authorize variance from these criteria when circumstances such as topography, natural obstructions, hardship, or aesthetic or environmental objectives or considerations may warrant, insofar as they are not superseded by applicable Town of Johnstown zoning regulations. Such variances must be approved by the DRC and JRC. A variation of up to 20 percent in dimensional standard is allowed if it improves the project design or an unreasonable hardship can be demonstrated.

## 2.8 FINAL PLAN AMENDMENTS

---

Amendments to final plans must be approved by the DRC and JRC.

## 2.9 RELATIONSHIP TO OTHER DOCUMENTS

---

The Design Guidelines establish the guiding principles for review and processing of each development. There are other documents that were used as reference for the Design Guidelines or may be referred to for information not found within the Design Guidelines. The version currently in place at the time the project is submitted.

- A. Town of Johnstown Municipal Code
- B. Johnstown Area Comprehensive Plan- November 2021
- C. Johnstown/Milliken Parks, Trails, Recreation and Open Space Plan-May 2003
- D. Town of Johnstown Landscape Standards and Specifications
- E. Johnstown Criteria and Construction Regulations-April 2004
- F. Johnstown Transportation Plan
- G. Governing Documents of the property owners' association (if any exists) or Metro District.

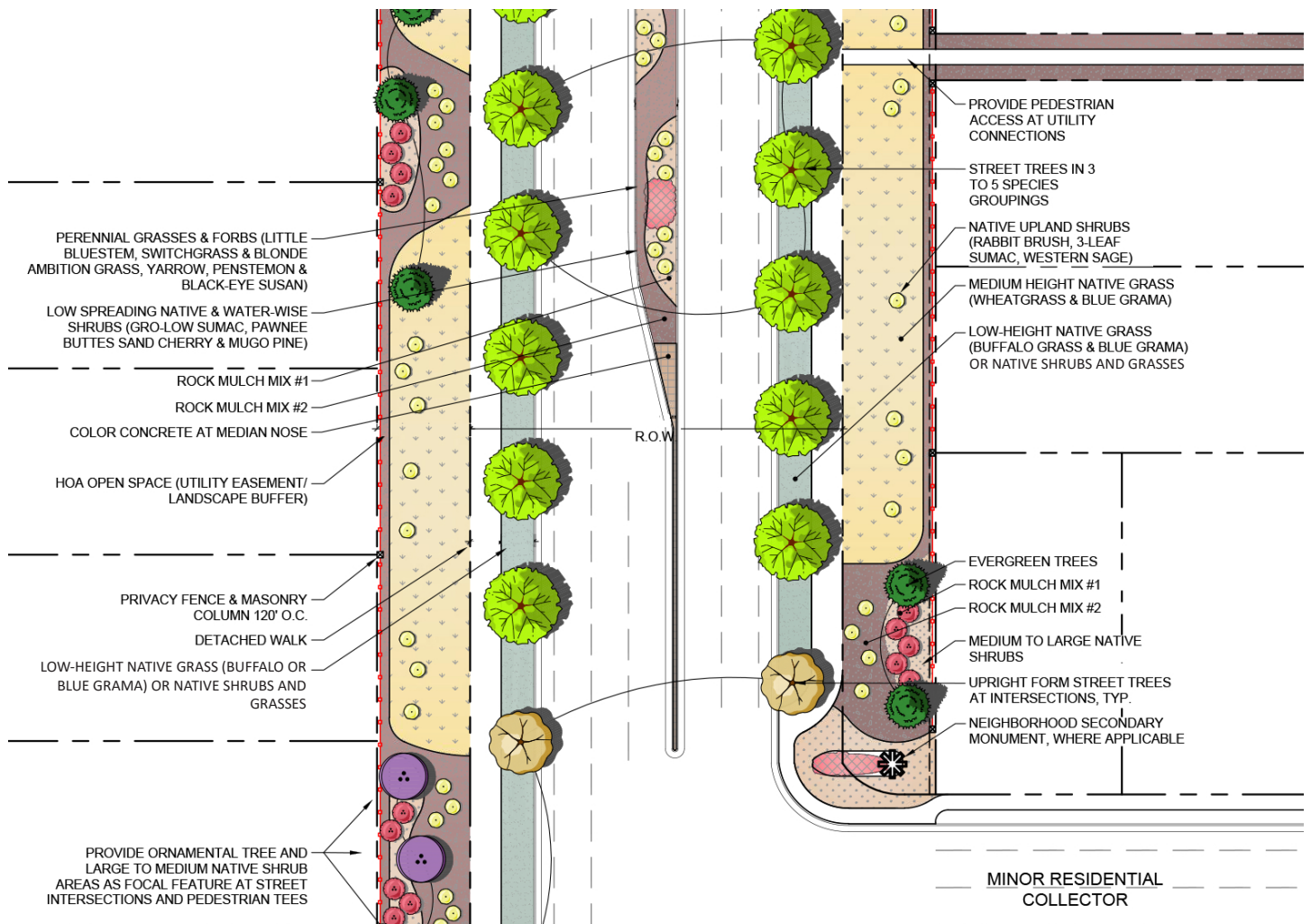
## 2.10 STREETScape DESIGN

### 2.10.1 ENTRIES

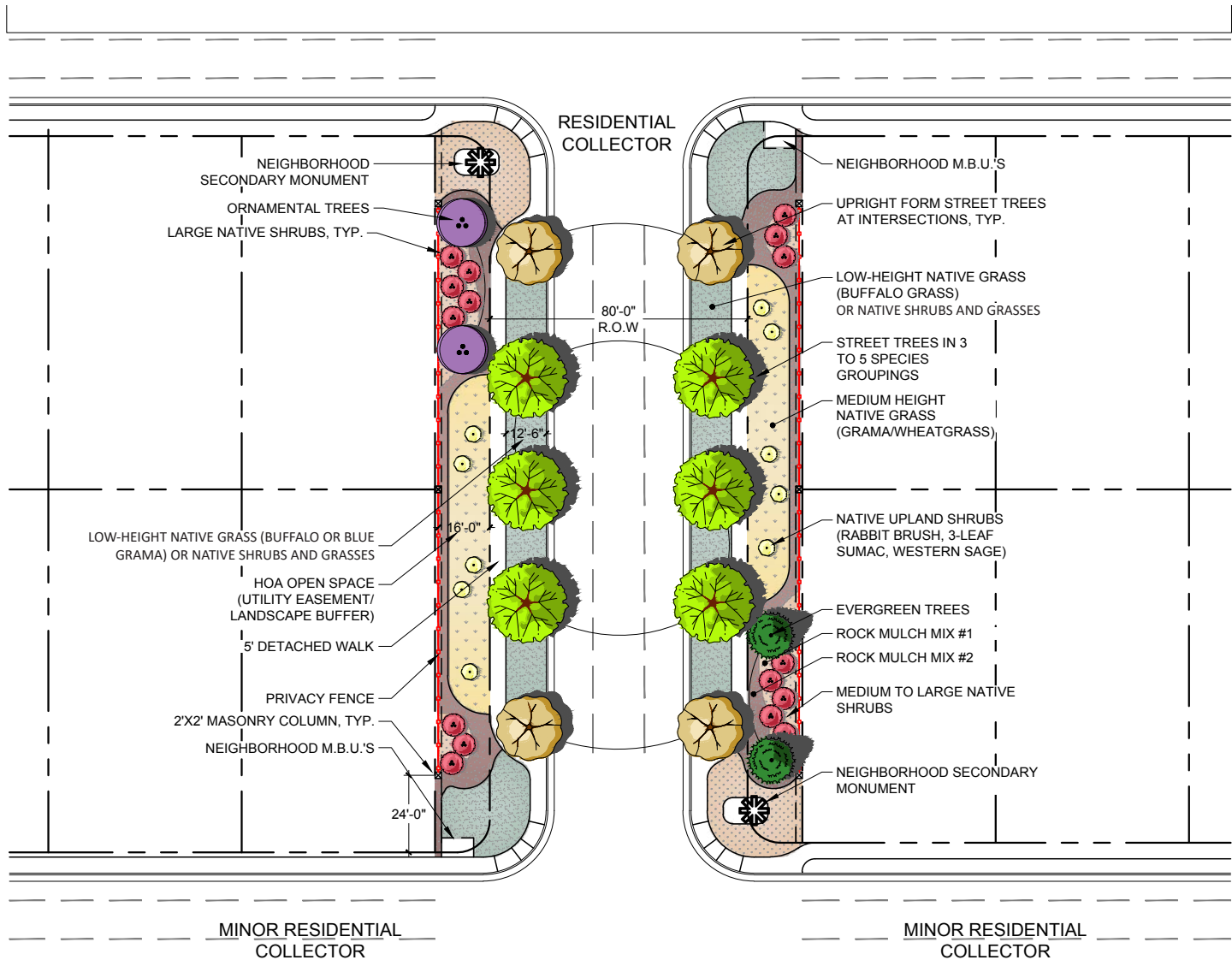
North Ridge entries will contain both signage and landscaping that tie into the overall development streetscape design. The ODP plan illustrates the major and minor entries into the site.

### 2.10.2 ARTERIALS AND COLLECTORS

Due to the size of the development, planting of arterial and collector streets will be treated in a similar fashion in order to create a unified and significant streetscape image. The streetscape design emphasizes xeriscape principles. A varying mix of deciduous trees will be planted in alternating rows in order to create a pleasant pedestrian experience. Both drought-tolerant turf and stone will be used for the ground-cover in order to minimize water usage, reduce maintenance, and provide contrasting textures and colors. Shrubs will be planted in masses within areas to emphasize the streetscape forms, screen cars and provide landscape interest. Occasional boulders located along the streetscape will add visual interest as well as tie sign materials into the streetscape. Medians will be planted in a similar fashion or will be constructed of colored & stamped concrete.



ARTERIAL STREET LANDSCAPE DESIGN INTENT-(SEE NORTH RIDGE ODP AND TRAFFIC STUDY FOR ARTERIAL DIMENSIONS)



COLLECTOR STREET LANDSCAPE DESIGN INTENT--(SEE NORTH RIDGE ODP AND TRAFFIC STUDY FOR COLLECTOR DIMENSIONS)

## 2.11 LANDSCAPE GUIDELINES FOR PUBLIC PROPERTY

### 2.11.1 ARTERIAL RIGHTS–OF-WAY LANDSCAPING

Arterial landscaping shall be designed and submitted along with the infrastructure plans. The developer or the builder is responsible for landscaping the entire area from the back of the curb to the property line at the time the adjacent land develops for a specific use. Additionally the developer or the builder is responsible for water dedication for landscape between the curb and property line. Arterial landscaping is intended to provide an overstory street canopy along arterial streets and a landscaped area between the street and pedestrian areas. The right-of-way will be landscaped with at least one (1) tree for every fifty (50) linear feet of right-of-way and 50% of the landscape areas shall be covered with plant material within five (5) years of installation.

- A. Trees will be placed to create a street tree canopy that provides an aesthetic gateway along arterial streets and also functions to cool street pavement.
- B. No single tree species may constitute more than 25% of all trees, either on a specific site or ROW landscaping associated with a project.
- C. Xeric landscape design and principals are encouraged
- D. Arterial Right of Way - This section is intended to provide as close to the full arterial landscaping requirement as allowed or recommended by the local and state jurisdictions.
- E. Collector Street Rights-Of-Way. The Developer is responsible for landscaping the entire area from the back of the curb to the property line at the time the adjacent land develops for a specific use. Collector street landscaping is intended to provide an overstory street canopy along collector streets and a landscaped area between the street and pedestrian paths.
- F. Overstory/shade trees will be provided between the curb and the sidewalk with at least one (1) overstory/shade tree for every fifty (50) linear feet of right-of-way.
- G. 50% of the landscape areas shall be covered with plant material within five (5) years of installation.
- H. Xeric landscape design and principals are encouraged

### 2.11.2 GUIDELINES FOR PRIVATE DRIVES

- A. All Private Drives to be a part of new development shall be constructed to full section width including full depth asphalt, curb and gutter along both sides.
- B. Where Private Drives are existing, and adjustments or damage occurs due to new development, such new developments are responsible for patching and repairing the drives per Town Standards.
- C. Alternate materials such as grass pavers may be approved for emergency access lanes not used for primary traffic at the discretion of the DRC /JRC, the local Fire Authority.

### 2.11.3 PARKS, OPEN SPACE, REGIONAL DETENTION AND NATURAL AREAS

- A. Parks, trail, and open space shall be in conformance with the requirements of the Town, as well as all applicable standards, specifications, and codes, at the time of project submittal.



## 3.0 General Design Guidelines for Development

### 3.1 SITE ENGINEERING

This section applies to all development within North Ridge and contains specific information on performance standards and guidelines for the design of public areas and private property, construction practices, landscape maintenance and the acceptable plant palette. In utilizing these regulations, one should remain flexible in approach to site design given the characteristics of the site, the nature of the use and the intent of these standards.

#### 3.1.1 SITE PLANNING & DESIGN

Site Design, Building Placement and Orientation

- A. Minimize environmental impact through sensitive design and mitigation.
- B. If possible, orient the long axis of the buildings north-south to avoid winter ice conditions created by long north-facing facades.
- C. Utilize trees to maximize shade in summer and reduce heat gain of paved surfaces.

#### 3.1.2 STORM DRAINAGE

The goal of the design of sites is to minimize runoff and design needed storm drainage systems to meet basic engineering requirements while using the most current technology to improve the quality of the storm water before it reaches natural systems that may be affected by poor water quality. This philosophy reduces infrastructure costs, increases groundwater recharge and improves the environment.

- A. Site drainage shall be compatible with adjacent property drainage and in accordance with the overall master drainage plan for North Ridge. Storm drainage shall not run on a neighbor's lot at rates higher than historic rates prior to construction of the subdivision.
- B. Excess run-off from the site shall be minimized with sites graded to provide positive drainage away from buildings.
- C. Water from parking lots, roof drains and other areas should be consciously directed to landscape areas that could benefit from the additional water rather than piping it off the property, thereby reducing the need for irrigation water and improving water quality by filtration through landscape materials. Roof drains on north side shall be piped to an open space.
- D. Drainage shall be conveyed along dedicated streets, private drives and swales along property lines, or in open space corridors. Drainage will be sheet flow and surface drained where possible; however, below-grade drainage using storm sewer piping and culverts may be required.
- E. Drainage structures in sidewalks and bike paths must be placed flush with the surface, and grate patterns cannot have openings larger than 3/8 inch. Surface storm water or irrigation should not be discharged across sidewalks; and there should be no point discharges into curbs to prevent traffic-im-peding surges into the street.
- F. No concentrated drainage over walks, drives or trails shall occur.
- G. Detention areas or other landscape areas that are not used to meet the open space standards of these Landscape Guidelines shall be landscaped as follows:
  - a. Dryland grass or other approved vegetation will be the primary ground cover. All areas within the floodplain, including, but not limited to, the detention area bottom, shall be planted with buffalo grass or other dryland grass if it is maintained free of weeds and irrigation is provided until the grass is fully established. Live plant material other than dryland grass may be planted if it is suitable to the area and is maintained free of weeds and irrigation is provided.
  - b. Detention areas will be landscaped around the perimeter with plant groupings sensitive to the detention area design and will include at least one (1) tree and five (5) shrubs for every 100 linear feet of perimeter. Trees and shrubs are encouraged in other landscape areas where appropriate.
  - c. Clusters shall be separated by a minimum of twenty (20) feet as measured at maturity.

#### 3.1.3 UTILITIES, EASEMENTS & RIGHTS-OF-WAY

- A. Proposed infrastructure within North Ridge will be designed to meet the Town of Johnstown Design Criteria and Construction Regulations which are adopted at the time the project is submitted.

#### 3.1.4 GRADING

- A. Provide positive drainage away from foundations.
- B. Site buildings to minimize cut and fill earthwork operations.
- C. There shall be no grading beyond the limits of each property except as agreed upon by adjacent owners.

- D. Maximum slope 3:1. Maximum 4:1 slope for areas that require mowing.
- E. With grading design:
  - a. Avoid un-natural rectilinear forms, abrupt grade transitions, slopes greater than 3:1 max. side slopes
  - b. Provide irregular forms that imitate nature, smooth transition to adjacent grades, varied side and bottom slopes, gentle side slopes and constant side and bottom slopes where possible

## 3.2 PEDESTRIAN, BICYCLE AND OTHER NON-MOTORIZED CIRCULATION

### 3.2.1 WALKWAY DESIGN CRITERIA

- A. All streets shall have sidewalks. The minimum width of sidewalks shall be five (5) feet for residential and collector streets and ten (10) feet for arterial streets.
- B. Arterial streets shall have detached sidewalks and sidewalks shall adjoin the curb and gutter at all intersections.
- C. Internal pedestrian walkways shall be distinguished from driving surfaces through a change in paving materials or painted cross walks.
- D. Provide logical pedestrian connectivity from the street and parking areas to the buildings main entrance.
- E. Provide minimum five (5) feet clear walking area after car overhang (seven (7) foot minimum walk width adjacent to head-in parking and five (5) foot minimum walks apply in all other cases).

### 3.2.2 BIKE LANES

Bike Lanes shall be provided as required by Johnstown street design standards.

### 3.2.3 RECREATIONAL PATHS & TRAILS

Shall meet the criteria as established in the Johnstown/Milliken Parks, Trails, Recreation and Open Space Plan in place at the time the project is submitted.

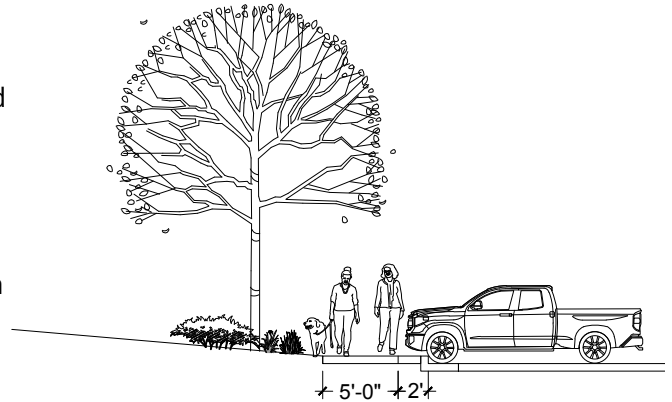
## 3.3 VEHICULAR ACCESS & CIRCULATION

### 3.3.1 PARKING OVERHANG

Design of vehicular drives/roadways and parking areas shall meet the criteria as established in the Town of Johnstown Design Criteria and Construction Regulations and all other Town standards, specifications and regulations in place at the time of project submittal.

### 3.3.2 EMERGENCY ACCESS

Provide access for fire, police, ambulance, and other emergency vehicles to buildings in accordance with Loveland Fire and Rescue Authority Development and Construction Requirements. Such access should be fully capable of supporting such vehicles. Where possible, connect emergency access routes between adjacent properties.



### 3.3.3 SIGHT TRIANGLES

Shall meet the AASHTO requirements and the Town of Johnstown standards, specifications, and regulations in place at the time of project submittal.

### 3.3.4 DRIVE-THROUGH FACILITIES

Drive-through facilities are a convenient service; however they may create barriers to pedestrian movement and present an unattractive appearance unless they are thoughtfully designed and located.

- A. Drive-through facilities shall be located on the site and not on public right-of-way.
- B. There shall be no stacking of waiting vehicles into the public right-of-way, primary interior circulation routes or across pedestrian walkways.
- C. Drive through windows, menu boards and stacking areas shall be subject to the same set back and screening requirements as parking lots.
- D. Each drive-through restaurant shall be permitted no more than two (2) free-standing or wall-mounted menu boards, which shall not exceed 35 square feet in area or six (6) feet in height and shall be located adjacent to and oriented toward the drive-through lane. One (1) order confirmation board may

also be permitted per menu board and shall not exceed a four (4) foot height and three (3) square foot sign area  
 E. Provide vehicular and pedestrian access to existing and future adjacent properties where feasible.

## 3.4 PARKING

### 3.4.1 PARKING LOT DESIGN

Sufficient parking should be provided for each development so as to avoid conditions that lead to parking on public streets and private drives.

The dimensions of parking spaces will be per the Town of Johnstown Off-street Parking Regulations, at the time in which the Design Guidelines are adopted, or The approved development plan for the property. Where a use falls under multiple categories listed below the more specific use requirement will apply.

Minimum parking requirements are listed in the following table. The DRC & JRC, at their discretion, reserve the right to require a parking study for any new development. If a permitted use is not identified below, the DRC may exercise reasonable discretion based on similar uses listed below or, if similar uses are not noted below, based on research of other adequately parked similar uses.

<b>USE</b>	<b>PARKING REQUIREMENTS</b>
Single-family residence	2 spaces per dwelling unit
Multifamily residence	1 space per dwelling unit (Studio / 1 bedroom) 1.5 spaces per dwelling unit (2 bedroom) 1.75 spaces per dwelling unit (3 bedroom) 2 spaces per dwelling unit (4+ bedroom) Attached Single Family (duplex, rowhome) shall provide required spaces in an enclosed garage.
Elementary schools	2 spaces for every classroom
Junior High Schools	1 space for every 5 students of max auditorium capacity
Senior High Schools	1 space for every 5 students of max auditorium capacity
Hospitals	1 space for every 2 beds
Clinics	5 spaces for every practitioner
Warehouse and Distribution	1 space for every 1,250 sq. ft. of G.L.A. & 1 trailer space per dock door
Flex, Flex R&D, & Trade Contractors	1 space for every 350 sq. ft. of G.L.A.
Manufacturing	1 trailer space per dock door & the greater of: (i) 1 space for every 2 employees or (ii) 1 space for every 1,250 sq. ft.
Commercial Office Buildings	1 space for every 300 sq. ft. of G.L.A.
Retail Stores	1 space for every 250 sq. ft. of G.L.A.
Gun Range	2 spaces for every gun range lane
Customer services establishments	1 space for every 200 sq. ft. of G.L.A.
Call Centers	1 space for every 100 sq. ft. of G.L.A.
Restaurant and/or Bar	5 spaces for every 1000 sq. ft. minimum of G.L.A. & 1 space for every 200 sq. ft. of cumulative patio/deck area for a single user. Patios and/or decks under 500 sq. ft. are exempt.
Shopping Center	1 space for every 250 sq. ft. of G.L.A.
Outdoor and Indoor Family Entertainment	1 space for every 250 sq. ft. of G.L.A.
Public assembly facilities provided for churches, theaters, auditoriums, etc.	1 space for every 3 seats seated audiences
Heath Clubs	7 spaces for every 1000 sq. ft. of G.L.A.
Sports Facilities	Applicant to provide parking study to determine parking requirements
Independent senior living parking standard	1 space per dwelling unit and 1 space per 3000 s.f. of non-residential space excluding utility rooms.

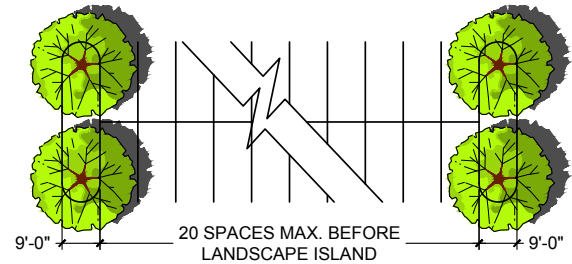
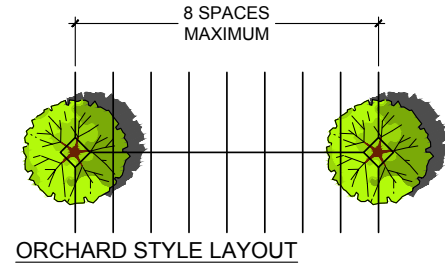
Assisted living and memory care facilities

0.5 spaces per bed

### 3.4.2 DESIGN OF PARKING LOTS

Design parking lots to current Americans with Disabilities Act (ADA) standards. Provide equal access in a manner that integrates handicapped-accessibility with ordinary accessibility, rather than separately.

- A. Except where orchard style planting is used, large parking lots shall be divided into smaller sections by landscape areas. Each section shall contain a maximum of 250 parking spaces. Landscape areas used to break up large parking areas shall be a minimum of fifteen (15) feet in width.
- B. Landscape areas separating parking blocks will have at least one (1) overstory/shade tree or two (2) ornamental trees and five (5) shrubs for every 50 linear feet along the length of the median.
- C. Overstory shade trees will comprise at least 75% of the trees within the landscape area.
- D. In a development, parking lots for each use shall be integrated within the development to the extent possible.
- E. All striping in parking areas shall be white.



### 3.4.3 INTERIM PARKING LOTS

With DRC and JRC approval, on-grade interim parking may be allowed if weather delays asphalt or concrete paving. It must be landscaped and paved with an all-weather material. Internal parking lot landscaping is not required for interim parking areas, but perimeter landscape treatments shall be consistent with the landscape requirements for permanent parking lots. Interim parking lots shall be limited to 1 year (12 months with 2-6 month extensions) of use.

### 3.4.4 BICYCLE PARKING

- A. Bicycle parking facilities are required for all land uses, except for single-family attached or detached housing.
- B. Bicycle parking facilities shall be located to provide safety, security and convenience for bicycle riders. Such facilities shall not interfere with, and be located a safe distance from, pedestrian and motor vehicular traffic.
- C. Bicycle parking facilities should be located outside of a vehicular or pedestrian way and be protected and separated from motor vehicle traffic and parking lots by either a three (3) foot separation distance or a curb or other physical barrier.
- D. For security reasons, bicycle-parking areas should be located so they are highly visible from building entrances and convenient for employees, yet not generally visible from roadways.
- E. It is recommended that bicycle parking facilities be designed to allow the bicycle frame and both wheels to be securely locked to the parking structure. The structure shall be of permanent construction such as heavy gauge tubular steel and permanently attached to the pavement foundation.
- F. If the bicycle facility is to be used at night, it should be sufficiently illuminated.
- G. Select bicycle racks that provide for a wide range of bicycle types and individual security devices. Designs should facilitate bicycle lockup.
- H. Provide protection from the elements. Specific considerations include the following:
  - I. Shelters and bike lockers are encouraged but not required.
  - J. Protected overhangs incorporated into a buildings design are a desirable solution.
  - K. Shelter design and materials should complement the architectural design of the primary building.

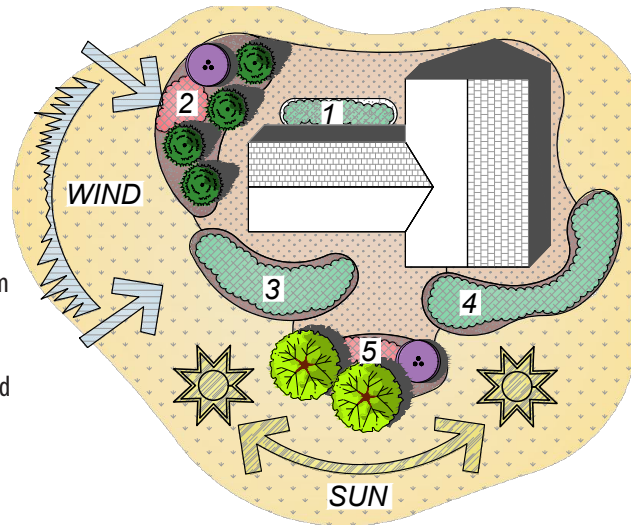


## 3.5 LANDSCAPING

### 3.5.1 LANDSCAPE DESIGN PRINCIPLES

All development shall demonstrate adherence to the following landscape design principles:

- A. Provide biodiversity that relates to the area's natural systems.
- B. Design to provide an attractive, comfortable environment for users while minimizing maintenance needs, irrigation water requirements and the use of herbicides and pesticides.
- C. Use environmentally friendly, "green" materials where possible.
- D. Design landscapes to create a naturalized appearance. Use plant materials that are indigenous to Northern Colorado where possible. (See the plant list in the Appendix). Only use introduced species in order to achieve design objectives that cannot be achieved with the use of native species.
- E. Locate plants in microclimatic conditions that are appropriate for that species. Only use high water-requiring plants in areas where they will naturally benefit from runoff or available ground water. Do not rely solely upon an irrigation system to provide water to high water-requiring plants.
- F. Group plant materials of similar water needs and arrange in concentric circles or layers of progressively less water use in order to maximize the efficiency of applied irrigation.
  - a. Plant species more susceptible to sun, wind & cold temperatures in sheltered areas.
  - b. Evergreen trees to provide shelter from winter winds.
  - c. SW facing plants should tolerate summer heat & drying winds.
  - d. Eastern facing areas allow some shelter from sun & wind.
  - e. Deciduous trees shade in summer and let light through in winter.



### 3.5.2 MICROCLIMATIC CONSIDERATIONS

- A. Use plant materials to provide buffering of structures and outdoor use areas from extreme climate conditions.
- B. Coordinate the design of the landscape with site erosion protection, storm drainage and water quality improvement systems.
- C. Utilize a minimum of three (3) inch deep mulch to reduce soil moisture loss and moderate soil temperatures.
- D. Where natural soils are not of high quality, improve soil structure by the addition of composted organic material.
- E. Design and manage irrigation systems to achieve peak efficiency.
- F. No turf grass shall be allowed in landscape areas less than eight (8) feet in width.
- G. Rock mulch shall be used in all planting beds. Wood mulch may be used in perennial beds but will not be accepted along property boundaries.
- H. Native seed shall be limited to areas adjacent to regional detention or the existing natural area & is required to be irrigated until establishment.

### 3.5.3 EXISTING VEGETATION PRESERVATION

Existing vegetation shall be preserved to the extent reasonably practicable. Special attention shall be paid to preserving significant vegetation within larger open space areas.

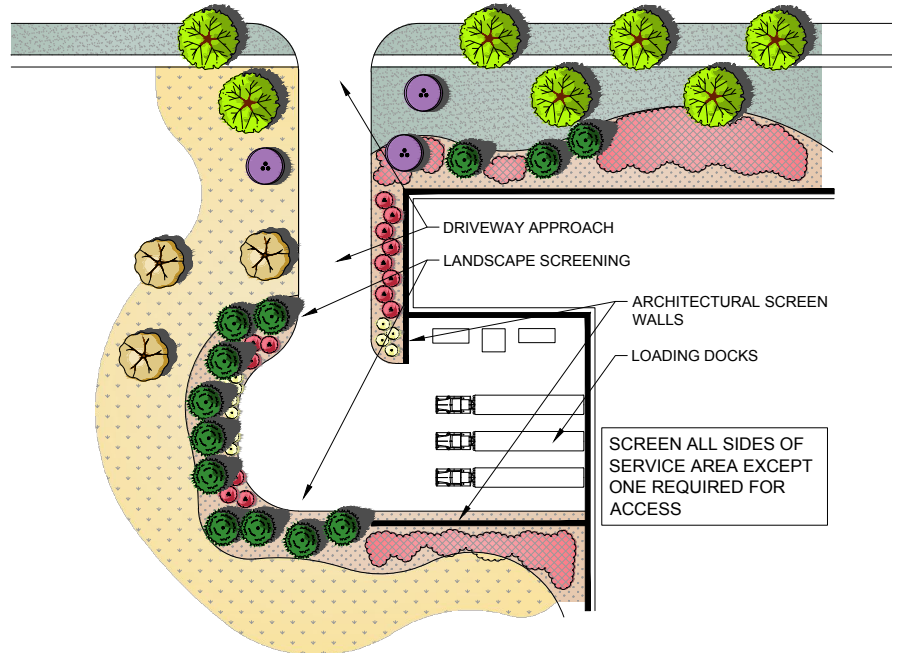
- A. Locate site and building improvements to preserve significant natural vegetation to the extent reasonably practicable.
- B. Within open space areas, preserve and incorporate into the landscape plan any existing healthy tree (meeting species restrictions) of 6-inch caliper or larger and located more than twenty (20) feet from any proposed building location. Preserve all trees over 24-inch caliper, unless deemed unhealthy or unsuitable for preservation.
- C. Incorporate tree wells or retaining walls as necessary in the landscape plan to protect existing trees and to maintain historic drip lines.
- D. All existing plants that are incorporated into the design will be adequately protected from damage during construction by an orange construction fence (4 feet high) secured with steel t-posts at the drip line of each tree. Sufficient posts shall be used to maintain the fence in erect condition at all times. Hand grading only shall be allowed within the limits of the construction fencing. No more than 6 inches of cut or fill shall be allowed within the drip line of any tree designated to remain.

- E. If on-site replacement is not possible, the property owner shall provide an equal replacement of caliper lost or a ratio of three new trees to one existing tree on-site as mitigation for any desirable trees lost due to or prior to construction.
- F. Existing landscaping may be used to satisfy the quantity requirements of landscape guidelines. One existing tree or shrub may be considered as satisfying one tree or shrub requirement.
- G. All existing trees over 6 inches in diameter will be surveyed as part of the landscape requirements and have location, species, size, and condition or health noted. Trees that are of good or better quality, and are a desirable species, should be incorporated into the design in their existing location whenever possible. If design solutions create undue hardship, as determined by the DRC and JRC, replacement shall be made per requirements above.

### 3.5.4 SCREENING

#### Large Truck Parking, Utility Appurtenances, Loading, Storage and Service Areas, Trash storage/pickup

- A. These requirements apply but are not limited to above-ground utility appurtenances, loading docks, storage areas, and open areas where machinery, vehicles or equipment are stored or repaired.
- B. Areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts of these functions are minimized and 75% screened from adjacent properties.
- C. Loading areas shall be paved with concrete, asphalt or other approved hardened surface materials as approved by DRC and JRC. A concrete pad shall be provided in the access drive immediately adjacent to trash enclosures serviced by trash trucks and in the enclosure itself. Areas for outdoor storage, truck parking, trash collection or compaction, loading or other such uses, shall be at least 75% screened from abutting streets unless otherwise approved by the DRC and JRC. These service areas should be located within a central core or on the side of buildings away from public streets where possible.
- D. Non-enclosed areas for seasonal sale of inventory shall be permanently defined and screened with walls and/ or fences that conform to those used as predominant materials and colors on the building.
- E. Service areas should ideally not be located directly adjacent to residential areas. If this situation occurs, no delivery, loading, trash removal or compaction, or other such operations shall be permitted between the hours of 10:00 p.m and 7:00 a.m. unless the owner submits evidence the sound barriers effectively reduce noise emissions to a level less than the greater of:
  - a. 60 db as measured at the lot line of the adjoining property or
  - b. Ambient sound from adjacent highways. Noise emissions may increase by up to 10 db for no more than 15 minutes in a one-hour period.



### 3.5.5 LANDSCAPING - BIG BOX RETAIL STORES

One primary tenant with square footage greater than 20,000 sf must provide a planting bed at least six (6) feet wide along a minimum of 50% of the length of wall visible from public use areas. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3.

### 3.5.6 OFFICE, FLEX & LIGHT INDUSTRIAL LANDSCAPING

- A. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall.
- B. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met.
- C. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3

### 3.5.7 PARKING PERIMETER LANDSCAPING REQUIREMENTS

- A. Perimeter landscaping requirements for parking areas include a minimum seven and one-half (7.5) foot wide landscape area with one (1) tree and five (5) shrubs per 600 square feet or portion thereof. When combined with adjacent properties requirements, this perimeter landscape will become fifteen (15) feet wide.
- B. Where two (2) parking perimeter landscape areas abut each other, the first to develop shall provide the tree requirement. The tree requirement for the abutting development need not be met, however, the second Builder is responsible for installing the shrub requirement.
- C. Where parking areas are located directly adjacent to residential development, both the parking lot buffer requirement and the nonresidential buffer requirements shall apply.

### 3.5.8 PARKING INTERIOR LANDSCAPING REQUIREMENTS

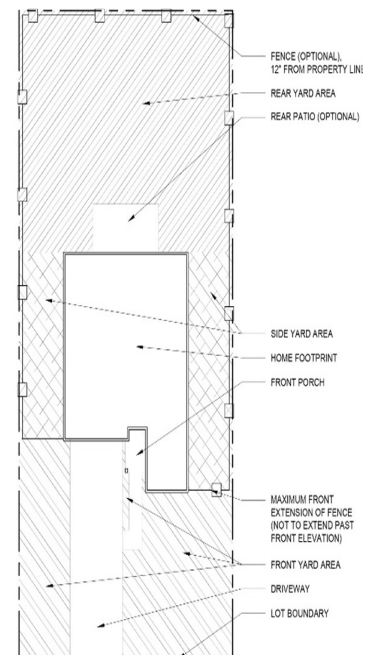
- A. Interior rows of parking spaces will provide a landscape island at the end of each row of parking spaces. Landscape islands will also be provided within the row of parking spaces so that there are no more than twenty (20) consecutive parking spaces without a landscape island.
- B. Landscape islands will have minimum dimensions of nine (9) feet by the length of the parking row.
- C. Islands will be landscaped at a rate of at least one (1) overstory/shade tree and three (3) medium or five (5) small shrubs for each 9 foot by 20 foot parking island. Overstory/shade trees will comprise at least 75% of the trees within the landscape islands. Evergreen trees shall be prohibited in parking lots unless island widths are sized to accommodate mature growth.
- D. Landscape islands will contain rock mulch or irrigated grass. Turf shall only be used in medians when highlighting a special design element. Turf areas must be at least 10' wide and occupy no more than 15% of the median's landscape area.
- E. Where orchard style planting is proposed in parking lots, internal landscaping shall be provided at a rate of one (1) tree and two (2) shrubs for every ten (10) parking spaces. At a minimum, one (1) diamond-shaped tree planting pit shall be provided for every eight (8) parking spaces. No shrubs shall be planted in the diamond tree planting pits and will be located in end islands and other landscape islands instead.
- F. A concrete pedestrian walk, at least six (6) feet wide, will be provided along the length of the landscape median closest to the building entrance. The walk will connect to perimeter pedestrian walks, whenever possible, and include raised and striped crosswalks.
- G. Planting trees and non-low-growing shrubs in the vehicle overhang area is not allowed.

### 3.5.9 SINGLE FAMILY LANDSCAPE GUIDELINES

(These landscape guidelines are for residential large lots. Small lot residential shall follow the latest Johnstown standards at the time of development submittal)

- A. Residential Lot Landscape Design Guidelines
  - a. Required Plant Quantities & Ground Treatment: Lot landscape shall follow xeric principles to the greatest extent possible. Irrigated turf will be limited to rear yards. Each lot is to have a minimum of 50% living coverage\* of the total landscape area within three years of installation (See diagram right for determining lot landscape area). Each lot is NOT to exceed 50% landscape area of moderate to high water use plantings. This includes irrigated turf and any other plantings requiring more than 12 inches of rainfall per year. Group plants in clusters to create concentrated zones for irrigation. Utilize rock cobble and boulders as decorative accents and ground coverage where live plantings are not used, match colors and styles to master development areas. Landscaping along property lines should be coordinated so that transitions are cohesive. Lot landscape is to be installed within one month of construction completion, weather permitting. Point-source drip irrigation should be used to the greatest extent possible.

\*Definition: Living Coverage means that a certain percentage of area must be planted and fully covered by live plant material such as ground cover, perennials, shrubs, grasses, etc. These areas are not to include mulches or artificial landscape such as artificial turf.



1 LOT DIAGRAM  
SCALE: NOT TO SCALE

#### General Notes:

- The trees shall be located so as not to interfere with sight distances at driveways.
- Trees required in the adjacent right-of-way may not be used to meet lot standards
- Trees shall maintain a minimum 5' offset from dry utilities, 10' offset from wet utilities and 15' from fiber optic lines. If required trees cannot

be located without violating these offsets the requirement may be waived.

**FRONT YARDS: MINIMUM REQUIREMENTS**

- Lots 70 feet or less in width
  - o 1 (One) Deciduous Tree
  - o 5 (Five) Shrubs
  - o 3 (Three) Ornamental Grasses or Perennials
  - o No Turf will be allowed in Front Yards
  - o Up to 40% of Front Yard landscape area may be Low Grow Grass Mix (See DRC Recommended Plant List if one exists).
- Lots greater than 70 feet in width
  - o 2 (Two) Deciduous Trees
  - o 8 (Eight) Shrubs
  - o 5 (Five) Ornamental Grasses or Perennials
  - o No Turf will be allowed in Front Yards
  - o Up to 40% of Front Yard landscape are may be Low Grow Grass Mix (See DRC Recommended Plant List if one exists).
- Corner Lots
  - o For corner lots the same quantities shall be required for each street as listed above.

**REAR YARDS: MINIMUM REQUIREMENTS**

- Lots 70 feet or less in width
  - o 1 (One) Deciduous OR Evergreen Tree
  - o Irrigated Turf is limited to 40% of Rear Yard
  - o There is no limit to Low Grow Grass Mix for Rear Yards
- Lots greater than 70 feet in width
  - o 1 (One) Ornamental Tree
  - o 1 (One) Deciduous OR Evergreen Tree
  - o Irrigated Turf is limited to 40% of Rear Yard
  - o There is no limit to Low Grow Grass Mix for Rear Yards

**SIDE YARDS: MINIMUM REQUIREMENTS**

- No required landscape unless used to meet 50% lot landscape area living coverage.
- No Irrigated Turf will be allowed in Side Yards

**B. Minimum Plant Sizes**

- Deciduous Trees: 1.5 Caliper Inches B&B
- Evergreen Trees: 6’ Height B&B
- Shrubs: #5 (5 Gallon) Container – Minimum 18” Height or Spread
- Ornamental Grasses: #1 (1 Gallon) Container
- Perennials: #1 (1 Gallon) Container

**3.5.10 COMMON OPEN SPACE**

Common Open Space is land commonly owned and maintained by a property owners’ association or Metro District. Common open space required in all subdivisions and PUDs shall be landscaped as follows:

- A. Common open space areas will have live ground cover over at least 75% of the area, unless otherwise approved by the Town. Bluegrass is not the only option for these areas and the Town encourages the all property owners to pursue water saving goals as listed throughout section 3.5.
- B. All ground cover, ornamental turf and turf shall have an irrigation system that is designed to meet the needs of the plants and that is designed to meet Town Standards. Common open space in one-family subdivisions or PUDs or portions of subdivisions or PUDs containing one-family dwellings shall be



landscaped at a ratio of at least one (1) tree and five (5) shrubs for every 4,500 square feet of landscaped area.

- C. Up to 30% of the required shrubs may be substituted by trees at the rate of one (1) tree for ten (10) shrubs.
- D. At least 50% of the trees will be overstory/shade deciduous species and 25% of the trees will be coniferous species, where appropriate.
- E. The Developer shall have all landscaping improvements completed and in acceptable condition prior to the Town's construction acceptance of public improvements and prior to turning the common open space areas over to a property owners' association or Metro District for maintenance.
- F. No single tree type shall make up more than 25% of all trees

### **3.6 LANDSCAPE FOR NON-SINGLE FAMILY RESIDENTIAL USES INCLUDING PUDS & MULTI-FAMILY RESIDENTIAL**

- A. Fifteen percent or more of the lot/parcel will be landscaped, common open space.
- B. Common open space that is not a detention pond will be landscaped at a ratio of at least one (1) tree and five (5) shrubs for every 1,000 square feet, except as required for parking lot screening and buffers, which may require additional plant materials.
- C. Buffer landscaping will be provided as follows:
  - a. At least ten (10) feet wide adjacent to minor collector and local street rights-of-way.
  - b. At least twenty-five (25) feet wide adjacent to arterial streets and major collector rights of-way.
  - c. Buffers will be designed to provide one tree and five shrubs for every 750 square feet.
  - d. 25' buffer between light industrial and residential
- D. Where nonresidential, multifamily or group living uses are adjacent to existing or projected single-family residential or duplex uses, one of the following shall be provided:
  - a. A fifteen (15) foot wide on-site landscape area with berming and one (1) tree and five (5) shrubs per 600 square feet or portion thereof; or
  - b. A ten (10) foot wide on-site landscape area with one (1) tree and five (5) shrubs per 400 square feet or portion thereof with intermittent six (6) foot privacy fencing; or
  - c. A five (5) foot wide on-site landscape area one (1) tree and five (5) shrubs per 250 square feet or portion thereof with a continuous six (6) foot privacy fence.

#### **3.6.1 LANDSCAPE PERFORMANCE STANDARDS**

- A. Landscaping shall be completed prior to Certificate of Occupancy (C.O.). If landscaping cannot be completed due to cold weather the Town may grant a C.O. upon receipt of a sufficient letter of credit or cash surety and a written schedule for completion. No letter of credit or surety is required if the landscaping is to be performed by the Metropolitan District.
- B. All landscape plans for a non-residential use shall be prepared by a professional landscape architect.

#### **3.6.2 IRRIGATION SYSTEMS**

All landscape areas shall have an automatic clock-activated irrigation system - Landscape areas without an irrigation system and bearing live plant material will require temporary irrigation until the plants are established and a reliable water source sufficient to sustain plant life is provided.

- A. Irrigation systems shall meet the following criteria:
  - a. All irrigation systems shall be non-potable where possible and coordinated with the property owners' association or Metro District.
  - b. All irrigation systems shall be designed and installed to the specifications of the property owners' association or Metro District irrigation guidelines.
  - c. All potable water systems shall be equipped with a back-flow prevention device.
- B. Portions of irrigation systems may be comprised of temporary irrigation components to irrigate native areas if the Town determines that all of the following standards are met. A clear description of proposed temporary irrigation must be provided on the landscape plan and approved by the Town:
  - a. Plant selection, design, installation specifications and site conditions combine to create a microclimate that will sustain the plant material in a healthy condition without regular irrigation after the plant establishment period.
  - b. All portions of the landscaped area served by temporary irrigation will be within 150 feet of an exterior water source to enable hand watering during extended dry periods.
  - c. Above ground temporary irrigation systems shall be approved on a case-by-case basis only if the native area is large enough to warrant the use. Above ground systems will be the responsibility of the Builder until grasses are established and the system is removed. No such system shall be permitted to be turned over to a property owners' association for maintenance.
  - d. The temporary irrigation will provide reliable automated irrigation for the plants during the establishment period.
  - e. The Builder has demonstrated the ability to provide ongoing maintenance of xeriscape areas necessary to keep plant material healthy without irrigation.

### 3.6.3 SOIL AMENDMENT

Soil amendment is only necessary in planting beds and blue grass/ fescue turf areas. Where soil amendment is necessary, minimum requirements for soil preparation shall include three (3) cubic yards of organic material for 1,000 square feet of existing soil tilled to a minimum depth of six (6) inches. Regardless of existing soil conditions tree and shrub pits shall be backfilled using a mixture of one-third existing site soil, one-third topsoil and one-third organic matter.

### 3.6.4 PLANT SELECTION AND DIVERSITY

Plant selection and diversity will be per Town Standards. Tree species prohibited within the Town per Town Standards will be removed in existing landscape areas, when appropriate, and will not be planted in new landscape areas.

- A. All landscaping materials shall consist of healthy specimens compatible with local climate and meet the requirements included in these standards.
- B. The plants listed in the Town of Johnstown Landscape Standards and Specifications Appendix A should be used as a guideline for recommended use. Due to the variety of available plants, non-prohibited species that are not on the list may be planted provided they are replaced by an approved species if they fail to survive. Plants selected should be appropriate for the specific location and purpose.
- C. Up to one-third of the proposed trees for a project may be of fast-growing varieties, such as cottonless Cottonwood (*Populus sargentii*), Aspen (*Populus tremuloides*) and Silver Maple (*Acer saccharinum*). Two-thirds of the proposed trees shall be slower growing, long-lived trees, such as Norway Maple (*Acer platanoides*), Oak (*Quercus* sp.), Linden (*Tilia* sp.), Honeylocust (*Gleditsia triacanthos inermis*) and other hard Maples (*Acer saccharum* or *rubrum*). The variety shall be sufficient to minimize the effect of plant disease.
- D. Recognizing that it is undesirable to plant a large percentage of one tree species which may result in uniform disease susceptibility and eventual extinction of that species, the following diversity standards shall be required:
- E. For any one proposed development project (including common open space areas), no more than 15% of any one species of tree (for trees considered hardy in this area), or 10% of any one (1) species of tree considered marginally hardy for this area, shall be proposed. This shall be measured per total trees in the development, including existing trees.
- F. For small development projects, exceptions to the above diversity requirement may be allowable where the size of the development makes minimum diversity percentages unreasonable. A variance request is to be made by a note on the landscape plans and shall be subject to approval by the Town Planner.
- G. Coniferous trees shall comprise 25% of any landscaped area, where suitable. Unsuitable areas include areas where icy conditions may be created with the use of conifers at road intersections, road curves, bike path intersections, bike path curves site distance restricted areas or narrow areas. Locate conifers so mature spread will not overgrow streets or walks.
- H. Ornamental trees can only replace large canopy trees at a rate of three (3) ornamental trees to one (1) large canopy tree (not to exceed 25% of the total tree requirements). Fruit bearing or thorny trees shall not be permitted within five (5) feet of sidewalks or streets, as calculated from mature canopy width of tree.
- I. Shrubs shall be a mixture of evergreen and deciduous varieties. Small shrubs shall be used between the bike path and the curb along street rights-of-way to avoid safety obstructions.

### 3.6.5 STREET TREE MINIMUM STANDARDS

- A. Species that generally have branches less than fifteen (15) feet above the roadway at maturity shall not be used as street trees unless they are located such that no interference with the roadway will occur at maturity. Minor trimming and branch removal should be performed to maintain the fifteen (15) foot requirement and eight (8) foot minimum clearance over sidewalks and bike paths.
- B. Trees prohibited from planting within the Town of Johnstown include the following: cotton-bearing Cottonwood, Lombardy Poplar, Box-elder, Siberian or Chinese Elm, Russian Olive and Ash trees (*Fraxinus* spp.).
- C. Trees prohibited from planting within street right of ways include the above plus the following: Fruit and/or thorn bearing trees (prohibited from within five (5) feet of bike path as measured from edge of mature canopy), willow (all varieties), Tree of Heaven, Cottonwood (all varieties), and Silver Maple.
- D. Trees recommended for use within the Town of Johnstown include those listed in Plant Materials List found in appendix of the Town of Johnstown Landscape Guidelines.
- E. Planting sizes for required landscapes:
  - a. Deciduous shade trees: 2-inch caliper
  - b. Ornamental trees: 1-1/2-inch caliper
  - c. Evergreen trees: 6 foot – 8 foot height (with a minimum of 25% at 8 foot height)
  - d. Multi-stem ornamental trees: 8 foot – 10 foot height
  - e. Shrubs: 5-gallon container
  - f. Vines: 1-gallon container

- g. Ground cover/perennials: 2-1/4 inch pots

### 3.6.6 LANDSCAPE MAINTENANCE

Maintenance includes all reasonable and regular irrigation, weeding, weed control, fertilizing, pruning as well as removal of tree wrap and staking, and bike path snow and ice removal per standard horticultural practices and Town code. Plant materials that show signs of insect pests, diseases and/or damage shall be appropriately treated. Dead plant material will be replaced according to an approved landscape plan. An initial inspection of landscaping installation will be done at the time of development or change in use.

- A. The Builder or Metro District shall be responsible for maintaining all on-site and common landscaping as shown on an approved landscape plan or as existing if an approved landscape plan does not exist.
- B. The Builder or Metro District shall be responsible for maintaining the landscaping public improvements on all adjacent rights-of-way as shown on an approved landscape plan or as existing if an approved landscape plan does not exist, unless a maintenance agreement is reached with another entity. The Town, at its discretion, may add, remove, replace, or maintain landscaping within the right-of-way per Town standards.
- C. The Developer may request Town maintenance of arterial rights-of-way where there will not be a Metro District. The following standards shall apply:
- D. Acceptance of maintenance will be based on the determination that the public interest is served by Town maintenance.
- E. The Developer may request Town maintenance of other facilities not included above. The following standards shall apply:
- F. Acceptance of maintenance is based on the determination that the public interest is served by Metro District maintenance.
- G. Installation of all improvements shall meet or exceed Town Standards.
- H. The Builder or Metro District shall be responsible for maintaining all irrigation systems in sound condition and so all plant material receives the necessary amount of water. Leaks and other broken and/or non-performing equipment shall be repaired in a timely manner. Systems shall be periodically adjusted to eliminate water spraying onto paved surfaces. Watering times shall be regularly adjusted to meet the seasonal needs of the plants while minimizing over-watering.

## 3.7 SITE DEVELOPMENT SIGNAGE

### 3.7.1 PROJECT IMAGE

Two primary entrance signs are located at the intersection of Freedom Parkway and the Frontage Road, as well as at the main entrance into parcel D. These primary entrances are intended to create a gateway and emphasize the main entrances. The secondary entrances are intended to have less traffic and are off of Freedom Parkway. Landmark and high-image intersections help develop the character of the area. These intersections may contain showy landscaping, decorative walls, art and overall exhibit an increased decorative character than other minor intersections. By creating a hierarchy of intersections, people will be able to use the decorative elements as a way-finding device. Sign permits will need to be reviewed and approved by the North Ridge DRC prior to submitting to the Town for review.

### 3.7.2 NORTH RIDGE SIGNAGE SYSTEM

All community identity signs for North Ridge will be located in signage and landscape easements and outside of the public ROW.

### 3.7.3 PRIMARY ENTRY SIGN

Primary entry signs are located at the intersections of Freedom Parkway and the Frontage Road and at the Parcel D access points along the Frontage Road



PRIMARY ENTRY SIGN

### 3.7.4 SECONDARY ENTRY SIGN

Secondary entry signs will be located along the Frontage Road.



SECONDARY ENTRY SIGN

### 3.7.5 PURPOSE

The following sign guidelines provide a language for all signage which helps to create a unified image for North Ridge. All freestanding signage within the development will bear the style and logo of North Ridge, however individual logos and graphics are allowed on the sign face. Freestanding signs located throughout the development are unified through the use of similar geometry and a repetition of a common materials palette. Building mounted signs are regulated by limiting size. However, tenant logos and graphics are allowed. The following signage requirements are congruent with Town of Johnstown Sign Code, any variations are noted.

### 3.7.6 PROHIBITED SIGNS

The following signs are prohibited:

- A. Any sign which would violate sight distance triangle requirements.
- B. Any nonpublic sign on the right-of-way or on a property other than that which it advertises.
- C. Any sign which, even though in general conformance with the standards and requirements of this sign code, is a dangerous sign due to interference with a traffic control device by being in direct line between the control device and oncoming traffic or otherwise in visual competition with a traffic control device or resembling a traffic control device.
- D. Any sign that is erected in such a location as to interfere with motor vehicle traffic.
- E. Any sign employing a lighting or control mechanism which causes radio, radar, television, or telecommunication interference.
- F. Any sign so erected, constructed or maintained as to obstruct or be attached to any fire escape, window, door or opening

- used as a means of egress or ingress or for firefighting purposes, or any sign so placed as to interfere with any opening required for light or ventilation.
- G. Flashing, blinking or other moving signs and searchlights/klieg lights.
  - H. Animated signs, including revolving, whirling, twirling or any other sign which uses motion, either implied or actual, except that barber poles (not exceeding five (5) feet in length which are not roof-mounted), windmills and time and temperature signs are permitted.
  - I. Structurally unsafe signs as determined by the chief building official, based upon criteria established in the adopted Town codes.
  - J. Roof signs.
  - K. Box signs.\*
  - L. Wheeled advertising devices, except for currently licensed, operative vehicles which are primarily used by their owners for service, delivery or general transportation on a regular basis.
  - M. Any merchandise displayed outside of a building in such a way as to attract attention when viewed by the general public by placement upon a pole, a fence, a platform, roof or other similar device or structure shall be considered as a sign and shall be prohibited unless otherwise approved by the Planning and Zoning Commission. This shall not, however, be construed to prohibit merchandise customarily stored outside of buildings and placed upon shelves or tables, such as automobiles, campers, boats, plant materials, produce or lumber.
  - N. Monopole signs
  - O. Any sign regulated by the State of Colorado Department of Transportation rules and regulations pertaining to outdoor advertising not approved by the CDOT. (Ord. 682, § 1, 2001)

\*Varies from Town of Johnstown Sign Code.

### 3.7.7 SIGN AREA MEASUREMENT AND ALLOWANCES

*(Allowable sign areas and sizes shall be per the standards listed below)*

- A. Animated:
  - a. Size of sign is based upon the sign type (i.e., freestanding, wall or projecting)
- B. Arcade:
  - a. Maximum Height cannot exceed bottom of eave, balcony, canopy, awning or other structural overhang or passageway to which it is attached.
  - b. Minimum height, seven (7) feet above grade.
  - c. Maximum one (1) per building entrance for nonresidential uses.
  - d. Maximum area, four (4) square feet for nonresidential uses.
  - e. Must be placed on an approved wall area.
- C. Awning Sign:
  - a. Permitted on the bottom eighteen (18) inches of 1st floor awnings.
  - b. Allowed at 0.5 square feet per linear foot of awning.
  - c. Maximum of twelve-inch letter height.
  - d. Maximum of one (1) per awning.
  - e. Must be located on an approved wall area.
  - f. May be illuminated.
- D. Bulletin Boards:
  - g. Nonresidential, nonagricultural and multiple-family uses only.
  - h. Maximum area, thirty-two (32) square feet.
  - i. Maximum height, eight (8) feet.
  - j. Maximum one (1) per street frontage.
  - k. Must be set back a minimum of ten (10) feet from any private property line and from a public right-of-way; one (1) foot setback for signs up to six (6) feet in vertical height; one (1) foot for every foot of height greater than six (6) feet.
- E. Freestanding residential districts:
  - a. Permitted in residential zones only.
  - b. Maximum sign area is one hundred (100) square feet.

- c. Maximum of one (1) per street frontage, said street being on the boundary of the development.
- d. Maximum height all residential districts, six (6) feet.
- e. Maximum height in all multiple family use districts, twelve (12) feet.
- f. Must be set back from any private property line and from a public right-of- way one (1) foot setback for signs up to six (6) feet in vertical height; one
- g. (1) foot for every foot of height greater than six (6) feet.
- h. May be illuminated.

F. Residential development entryway signs:

- a. One (1) for each major entryway;
- b. Not to exceed twenty (20) square feet in area or six (6) feet in height; Freestanding-type signs must be set back onto the property a minimum of ten (10) feet, unless incorporated into a traffic island entrance, then twenty-five (25) feet back from the face of the street curb and three (3) feet from the edge of the traffic island;
- c. Fence or wall-incorporated-type signs may be placed parallel with and at the property line following the same height and sight distance requirements as for a wall or fence.
- d. Subject to a revocable permit in favor of the Town if situated in the right-of- way.

G. Freestanding nonresidential districts:

- a. Maximum height: Twenty-five (25) feet.
- b. Maximum number of signs per development: one (1) per street frontage, not to exceed two (2) per development, except as may be permitted by a master sign plan approved by the Board of Trustees.
- c. All such signs shall be set back from the property line a distance equal to the height of the sign, except a sign six (6) feet in height shall be set back from the property line a distance of one (1) foot.

H. Maximum sign area, based upon the following table:

<b>Maximum Sign Area</b>		
<b>Floor Area of Building</b>	<b>Single Use Development</b>	<b>Multiple Use Development</b>
0-1,500 s.f.	35 s.f.	60 s.f.
1,500-5,000 s.f.	35 s.f. plus 1 s.f. per each additional 50 s.f. of floor area over 1,501	40 s.f. of floor area over 1,500
5,000-50,000 s.f.	100 s.f. plus 1 s.f. per each additional 1,000 s.f. of floor area over 50,001 up to a maximum size of 300 s.f.	300 s.f. plus 1 s.f. per each additional 1,000 s.f. of floor area over 50,001 up to a maximum size of 400 s.f.

I. Illuminated signs:

- a. Within one hundred (100) feet of residential use or district, internal lighting only.
- b. Over one hundred (100) feet from a residential district, any type of lighting source is allowed, except search or flashing lights, or directed so that the light shall not adversely affect surrounding premises or safe vision on public or private roadways, including highways.

J. Portable signs:

- a. A-frame or pedestal style only;
- b. Maximum area: Six (6) square feet;
- c. One (1) per street frontage;
- d. Must be set back a minimum of ten (10) feet from the street right-of-way line if over forty-two (42) inches or two (2) feet if forty-two (42) inches high or less;
- e. Must be anchored to the ground or weighted sufficiently to prevent movement by force of wind.
- f. May not interfere or block pedestrian or vehicular traffic.

K. Projecting signs:

- a. Maximum height: top of wall or parapet; not to be roof-mounted;
- b. Maximum projection: Shall be in accordance with building codes, requirements for "Construction in Public Right-of-Way."
- c. Maximum size: Two (2) square foot for each one (1) foot of height of the building wall to which the sign is to be attached;
- d. Projecting and wall sign not permissible on same wall;
- e. Maximum number: One (1) per street frontage.

L. Public information signs:

- a. As defined with the approval of the Town Administrator or designee.

### 3.7.8 TEMPORARY SUBDIVISION SIGNS

A. Temporary model home signs:

- a. One (1) per model home;
- b. Not to exceed twelve (12) square feet each and not over six (6) feet in height if a freestanding type; and
- c. Must be set back from property lines a minimum of ten (10) feet or a distance equal to height, whichever is greater.
- d. Temporary residential subdivision signs.
- e. Temporary signs are prohibited upon public rights-of-way. Temporary signs found by an enforcement officer to be located within Town rights-of-way shall be removed by such enforcement officer with no requirement of notice.
- f. Construction signs shall not exceed thirty-two (32) square feet and twelve (12) feet in height. One (1) per street frontage is allowed between the time a building permit is issued and the time a certificate of occupancy is obtained.
- g. Political and real estate signs may be located on property only by permission of the landowner.

B. Temporary commercial/industrial signs:

- a. Banners are permitted for any non-residentially zoned or used property to advertise special events or sales subject to the following provisions:
- b. May be placed upon a building wall or roof or a fence but shall not be attached to landscaping, freestanding posts or utility poles;
- c. The total size allowed for any single banner or total combination of multiple banners shall be determined using the same criteria that applies to wall signs. If the banner is to be affixed to a fence, size shall be the same as if it was attached to the nearest adjacent building wall having street frontage;
- d. Any banner that becomes discolored, ragged, shredded, detached, etc., shall be removed or repaired.
- e. Pennants that project a maximum of four (4) feet from the building are allowed on retail, entertainment or service commercial buildings, and only as part of an approved special district sign program. All pennant faces shall be counted as part of the total allowable sign area. Pennants located on light fixtures are allowed only by the North Ridge management group.
- f. Under canopy signs
- g. Minimum clearance from the sidewalk is eight (8) feet.
- h. One (1) sign per frontage.
- i. Not counted against other allowed signage.

C. Wall or painted:

- a. Maximum area to be no larger than two (2) square feet for every linear foot of the side of the building having a public entrance and facing a public street, alley or parking lot to which it is affixed. Signs affixed to attached or detached canopies and marquees or awnings shall be considered wall signs and shall be calculated based upon the length of the wall to which they are attached or adjacent.
- b. Each ground floor tenant or use shall have the right of wall signage upon any wall which fronts upon a public street, or if not fronting upon a public street, upon any wall which fronts upon a major interior drive having direct access to a public street. For uses that have a rear entry or delivery door, one (1) non-illuminated wall sign per use, not to exceed ten (10) square feet, is permitted.
- c. For buildings with flat roofs, wall signs shall not extend above the top of parapet or mansard, shall not extend more than three (3) feet above the deck line.
- d. May not extend more than fifteen (15) inches beyond the surface of the wall and may not extend beyond the side of the wall.
- e. Commercial, industrial, multiple-family, public and semipublic uses only.
- f. Cannot be used on the same wall as a projecting sign.
- g. Must be placed on an approved wall area.

### 3.7.9 FREESTANDING SIGNS

- A. Retail:
  - a. Single tenant signs are highly discouraged, commercial/retail uses should be combined into an overall sign with multiple tenants where possible. When single tenant signs are necessary, provide a smaller version of a sign that is sympathetic to the intent of the design shown. Individual user logos may be used; however they should be sized uniformly or in a proportional manner (i.e. Large tenant size, Small tenant size half the proportion of the large tenant).
  - b. Office/Flex/Light Industrial: Signs shall be uniform in size and colors shall be contained within an earth-tone palette. The North Ridge base shall be used. However, the sign area may be customized to fit the needs of the user. Each parcel is allowed one identification sign unless approved by the DRC and JRC.
- B. Residential Identity Signs:
  - a. Individual residential developments shall use materials within the materials palette and should design elements complementary to the North Ridge signage.
- C. Fuel/Convenience Store Canopy Signs
  - a. Signs on canopies associated with fuel/convenience stores shall be limited to one corporate with associated text or business logo of the principal use only on a maximum of two (2) sides of the canopy. Such logos shall have a vertical dimension of no greater than 75% of the vertical dimension of the canopy fascia and shall be no greater than twelve (12) square feet per logo.
- D. Regulatory Signs
  - a. Regulatory signs shall follow the guidelines established in the Town of Johnstown Design Criteria and Construction Regulations.

### 3.7.10 OTHER DISPLAY AND INFORMATIONAL ELEMENTS

- A. Banners:
  - a. Retail uses are allowed one (1) banner per building, not-to-exceed seven (7) days in a six-month period. Office, Light Industrial and other Commercial uses are allowed a one (1) day special event directional sign announcing open house/grand opening events.
- B. Window Signs:
  - a. Window painting is not allowed. Each business will be allowed one (1) "OPEN" neon sign. No other neon signs are allowed, except as specifically approved by the DRC and JRC. No decals or signs may be installed in doorways, windows or other areas visible to the public view from the exterior of the premises. The real estate window sign is intended for use where leasable office space is available.
- C. Building Entry Information:
  - a. If applicable, each business shall be allowed to post building or occupant names, hours of operation, emergency information, delivery hours and other required notices near its main exterior entrance on a wall or adjacent glass side-light adjacent to main entry doors. Maximum letter height shall be one (1) inch for basic information. Name of the building or occupant may be three (3) inches tall. Logos shall be a maximum of six (6) inches tall. All type must fit within a maximum 2 feet by 2 feet area. Type style shall be consistent with other building signs.
  - b. Wall mounted information shall be applied to a panel that is compatible with the surrounding wall treatments. The panel area shall not exceed four (4) square feet.
  - c. Buildings that provide service entrances shall be allowed an additional sign on or adjacent to each delivery door. Information shall be limited to a four (4) square feet area and design shall be consistent for all exterior doors of the building.
- D. Flags:
  - a. Flag poles shall be a minimum height of twenty (20) feet tall and a maximum height of thirty (30) feet. Only properly maintained national and/or state flags are allowed. The town of Johnstown will not be responsible for the enforcement of flags. Enforcement will be by the property owners' association (if any exists) or Metro District.



### 3.8 SITE FURNISHINGS

#### 3.8.1 SITE FURNITURE

Shall be complementary to the architecture, and if part of a larger complex of buildings, complementary with the other site furnishings in that complex. Site furniture for the overall North Ridge site should be similar or complementary with the following examples shown pending approval of the DRC and JRC.

#### 3.8.2 ART

Art in public places is highly encouraged. The proposed piece must be vandal resistant, appropriate subject material for public viewing, and complementary with the theme, materials, and colors of North Ridge as determined by the DRC and JRC.



#### 3.8.3 FENCING & WALLS

Fencing materials such as simulated rod iron and / or concrete or masonry may be required depending upon screening needs and compatibility with adjacent uses. No wood retaining walls are allowed (nonresidential only). Fencing and walls shall match building architecture. All fences and walls subject to DRC and JRC approval.

#### 3.8.4 LIGHTING

- A. The lighting design concept for North Ridge uses decorative lighting to enhance the main entries of the development.
- B. All light sources shall be contained in cut-off fixtures that obscure the source from direct view. Pedestrian-scale lighting that has secondary decorative visible light source may be acceptable provided it does not produce glare.
- C. Up-lighting is acceptable as long as they are subdued and angled towards surfaces and not lit straight into the sky. No searchlights are permitted.
- D. Street light poles and fixture housing shall be black in color. All roadway lighting should be of the same family of style, and all parking lot lighting shall have a color temperature of 4000 Kelvin and be of the same family of style; however, roadway and parking lot lighting need not match.
- E. Temporary lighting – Holiday lighting only November 1 through January 31. No “chasing” lights (Nonresidential only).
- F. Minimize lighting in parking areas when not in use.
- G. All lighting is subject to approval by DRC and JRC.
- H. Unless sharing parking lots & drives, all lighting shall be contained within the subject property, and shall not spill over onto adjacent property.



Minimum / Maximum allowable lighting (per IESNA standards):

Non-residential building, surrounding area, and parking	1.0 / 7.0 footcandles
Residential building surrounding and parking	0.1 / 0.5 footcandles
Under canopy fueling areas and drive-ups	5.0 / 25.0 footcandles

## 3.9 RETAIL BUILDING DESIGN STANDARDS

The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the predominant architectural character of such areas.

### 3.9.1 RETAIL DEVELOPMENTS

These guidelines apply to high-visibility neighborhood, community and regional-scale commercial areas, including retail, professional services, lodging, hospitality uses, outdoor family entertainment, restaurants and related uses, and contain additional information on how to place and design structures, sites and landscapes. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in General Design Guidelines and are supplemental to the requirements in this section.



### 3.9.2 BIG BOX RETAIL STORE DESIGN

Compatibility may be achieved through techniques such as:

- A. Repetition of roof lines.
- B. Use of similar proportions in building mass and outdoor spaces.
- C. Similar relationships to the street.
- D. Similar windows and door patterns.
- E. Building materials with similar colors and textures.
- F. Select buildings that have unique, high quality architecture associated with a brand, or that serve as an architectural focal point that may be allowed in otherwise "themed" developments if they are determined to add interest and vibrancy to the rest of the development.
- G. Treat all facades of a building with similar materials

### 3.9.3 ROOF AND TOP TREATMENTS

- A. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- B. The average parapet height may not exceed 15% of the supporting wall height.
- C. Vary parapet and/or roof heights to add interest and consider the use of overhangs and cornice features for decorative interest.
- D. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- E. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- F. Large sloped roofs must have variations in height or offsets to break up the large plane- maximum 50 linear feet of one plane.

### 3.9.4 FREESTANDING STRUCTURES / ELEMENTS

- A. Gas canopies shall not be taller than seventeen (17) feet and should match the principal building architecture. Support columns should relate to the building architecture in finish materials and scale.
- B. Vending machines/kiosks must be incorporated into nooks or other features integral to the main building.

### 3.9.5 MATERIALS AND COLORS

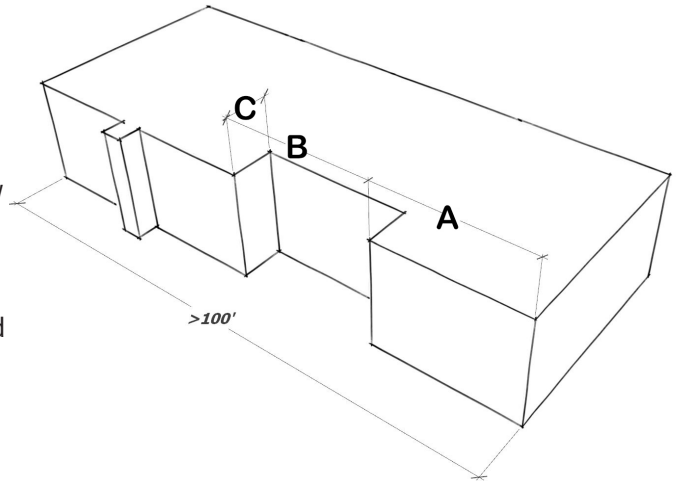
- A. Primary facade and roof colors shall have a low reflectance, and be a subtle, neutral or
- B. Earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
- C. Trim and accents may be brighter colors, including primary colors. Vivid colors shall be used sparingly (10% or less of a facade on buildings less than 20,000 sf and 7% on buildings larger than 20,000 sf). Vivid colors are defined as bright colors, such as primary colors.
- D. Preferred predominant facade materials include: brick, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt- up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
- E. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or

other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.

- F. Prohibited predominant materials are smooth-face concrete block and uninsulated, non-textured flat metal panels. These materials may be used as accent but shall occupy no more than 35% of a facade.

### 3.9.6 FACADES

- A. Facades must include a repeating pattern at intervals of no more than 50 linear feet that shall include a change in plane no less than one (1) foot in width such as an offset, reveal or projecting rib.
- B. Facades greater than 100 feet in length shall incorporate wall plane projections or recesses having a depth of at least 3% of the length of the facade and occupy at least 20% of the length of the facade.
- C. Where principal buildings contain separate stores with separate exterior entrances that occupy less than 25,000 square feet of the gross floor area, the street level facade shall be transparent between the height of three (3) feet and eight (8) feet above the adjacent walkway grade for no less than 60% of the building facade of the separate store.
- D. Building facade proportions:
- Max. 30% of facade length or 100' without interruption
  - Min. 20% of facade length
  - Project or recess 3% min. of facade length



### 3.9.7 BUILDING ENTRANCES

- A. Each building shall have clearly defined customer entrances with no less than two (2) of the following;
- Canopy, arcade or portico
  - Overhang or recess
  - Raised corniced parapet
  - Peaked roof or arch
  - Architectural detail such as columns, tile work, stone, detailing or moldings integrated into the building structure
  - Integral planters or wing walls and incorporate landscaped areas and/or places for sitting
  - Display windows



## 3.10 DESIGN STANDARDS FOR VEHICLE SALES AND SERVICE ESTABLISHMENTS

- A. Building footprint should be a minimum of 10% of the parcel size and building should be permanent
- B. Total acreage of all motor vehicle dealerships within North Ridge shall not encompass a total of more than thirty five (35) acres of land unless the Town and the Developer consult and agree to any additional area.
- C. Parking requirements for automobile sales and service establishments are a maximum of one (1) parking space per 75 square feet of G.L.A. Site design should accommodate provisions for pedestrians through the frontage spaces and other locations where customers are anticipated to park. All parking areas, including for-sale cars and parking for vehicles to be serviced, shall be designed according to the parking and landscaping standards contained in these design guidelines. No cars shall be parked outside of designated striped parking areas.
- D. All automobile service areas must adhere to screening requirements as designated in these design guidelines

## 3.11 DESIGN STANDARDS FOR OUTDOOR & FAMILY ENTERTAINMENT

- A. Outdoor and Indoor family entertainment is defined as a smaller amusement park geared towards family fun. Family entertainment centers, or FEC's as they're commonly called, are generally smaller and cost less than a traditional amusement park. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section. Common attractions include, but are not limited to:

Bumper boats	Bowling
Go-Karts	Batting cages
Music and dancing	Laser tag
Miniature golf	Indoor children's play equipment
Video game arcade	Banquet facilities
Ground level kiddie rides	Meeting rooms
Mild thrill rides	Outdoor event areas
Snack bar/restaurant	Water slide
Golf / driving range	

- B. It is required that specific photographs with dimensions be provided to illustrate all vertical elements on site. A site plan identifying these vertical elements must be submitted with the photographs.
- C. Lighting: The lighting allowed for attractions may be modified from the other standards in the Design Guidelines due to safety concerns. To the extent possible, the same fixtures should be used for the lighting of attractions as are used elsewhere in North Ridge. The lighting design should keep the lighting contained within the attraction.
- D. Safety and Boundary Restraints: It is understood that safety of guests and employees is paramount in the design and operation of attractions. For example, boundary restraints are required on the go cart track for safety purposes. The use of vinyl coated chain link fence rather than netting in areas that require reinforcement such as batting cages is necessary and appropriate to provide a safe environment for patrons. The allowable design solutions for safe operation of attractions shall take into account state of the art design and materials, usual and customary industry practices, safety, maintenance, and appearance. The DRC and JRC shall have the discretion to decide whether a design solution or improvement meets the intent of the design guidelines on a case by case basis. In considering the appropriate solution for inclusion in a proposed project, applicants shall advise the DRC and JRC of the best currently available and affordable design or practice, irrespective of whether it is incorporated in their proposed solution.
- E. Architecture: The design of attractions and accessory buildings may take many forms to create the necessary effect within a Family Entertainment Use. Given the wide variety of attractions that could be proposed, the DRC and JRC will consider the concepts inherent in an applicant's business model. The DRC and JRC recognize that such attractions may not fit within the architectural guidelines applicable to other uses in North Ridge. The DRC and JRC will have oversight as to which attractions and accessory buildings are allowable given the size, location and nature of the attraction and discretion to decide whether a proposal is acceptable within the development.

**3.12 OFFICE / FLEX / LIGHT INDUSTRIAL/ ENCLOSED CLIMATE CONTROLLED STORAGE**

- A. These guidelines apply to: single and multi-tenant office buildings; multi-tenant, single-story structures designed as flexible space for offices, light industrial and professional services; and single-tenant light industrial or research and development type uses. The guidelines contain additional information on landscaping and how to design structures. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section.
- B. Building Design - Compatibility with Existing Development and Site Design
  - a. The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the established architectural character of such areas. Compatibility may be achieved through techniques such as:
    - b. Repetition of roof lines.
    - c. Use of similar proportions in building mass and outdoor spaces.
    - d. Similar relationships to the street.



- e. Similar windows and door patterns.
  - f. Building materials with similar colors and textures.
  - g. Site design for flex uses should incorporate, where possible, central, common service/ loading areas.
  - h. Treat all sides with similar materials.
- C. All facades of a building shall have similar materials - Materials and Colors
- a. Primary facade and roof colors shall have a low reflectance and be a subtle, neutral or Earth-toned color. Earth- tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
  - b. Trim and accents of brighter colors, including primary colors, are allowed.
  - c. Vivid colors shall be used sparingly (3% or less of a facade). Vivid colors are defined as bright colors, such as primary colors.
  - d. Preferred predominant facade materials include: glazing, brick, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
  - e. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality Aluminum Composite Material Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
  - f. Prohibited predominant materials are smooth-face concrete block, full ceramic walls, and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.
  - g. Corrugated Metal Panel shall occupy no more than 25% of a facade.
- D. Facades that face a street or parking area shall not have a blank, uninterrupted length exceeding 100 feet without including at least two (2) of the following:
- a. Change in plane
  - b. Change in color
  - c. Change in texture or pattern
  - d. Windows
  - e. Columns, piers or equivalent element that subdivides the wall
  - f. Facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 30% of the length of the facade.
- E. Building Entrances - Primary building entrances shall have clearly defined and provide shelter from the sun, wind, rain and snow, and include two (2) of the following:
- a. Canopy, arcade or portico
  - b. Overhang or recess
  - c. Raised corniced parapet
  - d. Peaked roof or arch
  - e. Architectural detail such as columns, tile work, stone or moldings integrated into the building structure
  - f. Integral planters or wing walls and incorporate landscape areas and/or places for sitting
  - g. Special landscape or site feature
- F. Roof and Top Treatments
- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
  - b. The average parapet height may not exceed 15% of the supporting wall height.
  - c. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
  - d. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
  - e. Large sloped roofs must have variations in height or offsets to break up the large plane with a maximum 100 linear feet of one plane.
  - f. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.
- G. Accessory Buildings
- a. Shall be of the same character and materials as primary buildings.

### 3.13 WAREHOUSING & DISTRIBUTION

- A. These guidelines apply to warehousing and distribution uses, which typically have a comparatively high volume of truck traffic, multiple loading docks and large volume spaces for material or product storage. Indoor light manufacturing uses that possess these characteristics are also subject to these guidelines. The guidelines contain additional information on landscaping and how to design structures. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section.
- B. Landscaping
- a. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3.5.
- C. Architecture
- a. Compatibility with Existing Development
  - b. Treat All Sides with similar materials
  - c. Materials and Colors
  - d. Primary facade and roof colors shall be a low reflectance and subtle, neutral or earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
  - e. Trim and accents of brighter colors, including primary colors, are allowed. Vivid colors are defined as bright colors, such as primary colors.
  - f. Preferred predominant facade materials include: glazing, brick, native or cultured stone, tinted and textured concrete masonry units, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
  - g. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
  - h. Prohibited predominant materials are smooth-face concrete block, full ceramic walls and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent, but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.
  - i. Facades that face a street or public parking area shall not have a blank, uninterrupted length exceeding 100 feet without including at least two (2) of the following:
    - Change in plane
    - Change in color
    - Change in texture or pattern
    - Glazing
    - Columns, piers or equivalent element that subdivides the wall
  - j. Publicly visible facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 30% of the length of the facade.
  - k. Building Entrances - Primary public entrances shall be defined and provide shelter from the sun, wind, rain and snow, and include one (1) of the following:
    - Canopy, arcade or portico
    - Overhang or recess
    - Raised corniced parapet
    - Peaked roof or arch
    - Architectural detail such as columns, tile work, stone or moldings integrated into the building structure
    - Integral planters or wing walls and incorporate landscaped areas and/or places for sitting

#### D. Roof and Top Treatments

- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- b. The average parapet height may not exceed 15% of the supporting wall height.
- c. Vary parapet and/or roof heights to add interest and consider the use of overhangs and cornice features for decorative interest.
- d. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- e. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- f. Large sloped roofs must have variations in height or offsets to break up the large plane with maximum 100 linear feet of one plane.
- g. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.

#### E. Accessory Buildings

- a. Shall be of the same character and materials as primary buildings.
- b. No pre-engineered metal buildings.

## 3.14 SINGLE FAMILY RESIDENTIAL

---

### 3.14.1 Single Family Detached Residential Site Design

- A. Strategic views of the mountains and other natural features shall be encouraged in the development.
- B. Minimum sizes are regulated for estate and single-family lots and houses.
- C. Pedestrian circulation should be continuous throughout the development and connect to adjacent attractions.
- D. Outdoor recreation opportunities for children and their parents should be provided.
- E. Entryways to the neighborhood should be emphasized with signage, fencing, walls and/or landscaped medians.
- F. Homes should be varied in location along lots to create variety along the street.
- G. Landscape plans shall be designed by a landscape design professional. See section 3.5.9 for landscape standards.
- H. Landscaping to be installed as soon as weather permits, but in any event no later than six (6) months after a home is closed by initial buyer.
- I. Perimeter fencing shall be two-rail, post and dowel wood. "Mesh" type material will be allowed on the inside of the perimeter fencing. Other types of fencing may be allowed with DRC and JRC approval.
- J. Neighborhoods should have, at a minimum, six (6) foot privacy fencing along arterial and collector streets. Preferred arterial fence type is 1x6 cedar pickets with top and bottom rail and 36 inch masonry columns with pitched cap every 100 feet. Arterial fencing should noticeably deviate away from the straight fence line to create small landscaped "pockets". Opportunities include entryways, street corners or fencing that runs over 600 feet. These pockets may be located within easements to allow consistent irrigation and maintenance along with the arterial landscaping.
- K. Free-standing flag poles are not allowed. One wall-mounted bracket per home shall be allowed.
- L. All elevations are also subject to Town staff approval prior to permit.

### 3.14.2 RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS

#### A. General Conditions for Single Family Residential

- a. Housing model variety is strongly encouraged and each housing model shall have at least three (3) characteristics which clearly and obviously distinguish it from other housing models. The characteristics shall include different floor plans, exterior elevations, exterior materials, roof lines, garage placement, and the placement of the footprint on the lot and/or building face.
- b. To the extent feasible every front facade shall face the street and all units shall provide for a walk (hard surface) connection to the public walk system.
- c. The Builder shall provide each residence with a rear patio from the back door of the building.

#### B. Front Elevation

- a. The front facade elevation shall consist of a mix of materials to provide an interesting and pleasing residential unit and streetscape.
- b. The front facade shall include a minimum of 20% stone or brick. The garage door, front door and windows shall not be included in the calculation for percentage.
- c. The color of all exterior materials will be subdued to blend with the colors of the natural landscape. Muted earth tones, primarily in hues of tan,

brown, charcoal, or gray, or variations of blues, yellows, and greens are recommended. Accent colors used judiciously and with restraint may be permitted including white clad windows and entry doors or an accent color for the entry / front door and peak area may be used. A maximum of three colors each for the field, base and trim is encouraged. Light tones which unduly contrast with the surrounding landscape may be prohibited by the DRC.

#### C. Front Porches

- a. It is encouraged to provide a front porch or a well-defined entry for all residential homes.
- b. A front porch shall have a minimum depth of 4'-0" (as measured from the front facade to the posts, railings and spindles) and a minimum length of 4'-0".
- c. A front porch can intrude 4' into setback but must remain outside the utility easement.
- d. Posts and railings or a short "sitting wall" shall enclose all porches with a floor elevation more than 30 inches above finish grade.
- e. A well-defined front entry shall be a minimum of 4 feet wide and 4 feet deep. The width of the entry at its outer opening shall be a minimum of 2 feet wider than the width of the entry door, unless a Variance is approved under Section 1.9.

#### D. Garages

- a. If a three car garage is to be built, then one garage bay will be offset from the primary facade of the dwelling or a covered porch by at least two feet.
- b. With car garage doors that are visible as part of front building elevations, shall not comprise more than sixty five (65) percent of the ground floor street-facing linear building frontage. Corner lots are exempt from this condition. Three car garages may comprise a higher percentage.
- c. Each detached single family dwelling shall include an attached or detached two car garage and may include a larger garage up to three (3) garage doors only. Tandem parking within the garage is allowed.
- d. Garage doors will be detailed with grids or panel patterns, and/or windows with decorative trim features. Garage colors will be complementary in color and design to the house exterior. Other DRC solutions to mitigate the impact of garage doors may be considered if approved by the DRC.
- e. Garage doors may be located on another side of the dwelling (side loaded) provided that the side of the garage facing the street has windows or other DRC features that mimic the features of the living portion of the dwelling.
- f. Tapering driveways at the street curb unless the driveway is of sufficient length to allow vehicles to park in the driveway without blocking access to other garage doors shall be discouraged.

#### E. Roofs

- a. Residences shall have exterior elevations, roofs, and details that are coordinated and consistent in their architectural treatment
- b. Multiple axis roof lines to reduce building scale and increase individuality and diversity shall be encouraged.
- c. Roof pitches of 5/12 shall be encouraged for the dominant roof surface, except where styles incorporate flat or lower pitched roof design as an expression of deliberate architectural appearance.
- d. Eave lines that vary vertically to improve visual quality and break up building mass shall be encouraged.
- e. High-profile/random asphalt shingles with a minimum of a 30 year life shall be used. Three (3) tab asphalt shingles are not allowed. Weather wood, or similar tone colors, or other complementary shingle color for the paint scheme for the unit shall be used.
- f. Other roofing materials shall be approved on an individual case basis and may include, but is not limited to metal, concrete, tile or simulated fiberglass cedar shake shingle roofs in earth tones, shall be encouraged.

## 3.15 Multi-Family Residential

---

#### A. Density

- a. Maximum density in multi-family residential shall be 25 dwelling units per acre.

#### B. Landscaping

- a. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers.



### C. Building Design

- a. Compatibility with Existing Development and Site Design - The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the established architectural character of such areas. Compatibility may be achieved through techniques such as:
  - b. Repetition of roof lines.
  - c. Use of similar proportions in building mass and outdoor spaces.
  - d. Similar relationships to the street.
  - e. Similar windows and door patterns.
  - f. Building materials with similar colors and textures.
  - g. Site design for flex uses should incorporate, where possible, central, common service/ loading areas.
  - h. Treat all sides with similar materials.
  - i. Multi-family building facades shall be articulated with porches, balconies, bays or other offsets.
  - j. Accessory buildings should be similar in character and materials as primary buildings.
  - k. All facades of a building shall have similar materials.

### D. Materials and Colors

- a. Primary facade and roof colors shall have a low reflectance and be a subtle, neutral or Earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
- b. Trim and accents of brighter colors, including primary colors, are allowed. Vivid colors shall be used sparingly (3% or less of a facade). Vivid colors are defined as bright colors, such as primary colors.
- c. Preferred predominant facade materials include: glazing, brick, cementitious siding, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color. 40% of the front facade or the entire first floor (whichever is greater) shall be masonry (stone (manufactured or real) or brick).
- d. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
- e. Prohibited predominant materials are smooth-face concrete block, full ceramic walls, and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.

### E. Facades that face a street or parking area shall not have a blank, uninterrupted length exceeding 50 feet without including at least two (2) of the following:

- a. Change in plane.
- b. Change in color.
- c. Change in texture or pattern.
- d. Windows.
- e. Columns, piers or equivalent element that subdivides the wall.
- f. Facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 20% of the length of the facade.

### F. Building Entrances - Primary building entrances shall be clearly defined and provide shelter from the sun, wind, rain and snow, and include two (2) of the following:

- a. Canopy, arcade or portico.
- b. Overhang or recess.
- c. Raised corniced parapet.
- d. Peaked roof or arch.
- e. Architectural detail such as columns, tile work, stone or moldings integrated into the building structure.
- f. Integral planters or wing walls and incorporate landscaped areas and/or places for sitting.
- g. Special landscape or site feature.

### G. Roof and Top Treatments

- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- b. The average parapet height may not exceed 15% of the supporting wall height.
- c. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- d. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- e. Large sloped roofs must have variations in height or offsets to break up the large plane with a maximum 100 linear feet of one plane.
- f. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.

#### H. Accessory Buildings

- a. Shall be of the same character and materials as primary buildings.

## 4.0 Definitions

**Animated sign** - A moving sign that utilizes motion, implied or actual, in a horizontal or vertical plane or both. The only animated type of signs that are permitted are "time and temperature" and "barber pole" signs.

**Awning** - A temporary hood, cover or shelter which may be fixed or retractable, and which projects from the exterior wall of a building over a window, walk, door or similar building feature. An awning is often constructed of fabric, metal or glass and is not supported by the ground.

**Berm** - An undulation in terrain creating a new landform within a landscape to be utilized for wind protection, screening or a point of focal interest.

**Buffer** - The use of open space, architecture, or landscape materials to minimize the visual and/ or noise impacts of development.

**Building** - Any structure used, designed or intended for the roofed shelter, enclosure or protection of persons, animals or property.

**Builder** - Builder shall be any purchaser, assignee, or transferee of Developer.

**Canopy** - A roof-like structure serving the purpose of protecting vehicles and/or pedestrians and which may be freestanding or attached to a building, is provided with supports, and is open on three (3) sides if attached and on all sides if freestanding.

**Clinic, medical or dental** - Offices organized as a unified facility to provide medical or dental treatment as contrasted with an unrelated group of such offices, but not including bed-patient care.

**Development** - A single lot, parcel or tract of land or portions or combinations of lots, parcels or tracts of land which are held in single or common ownership and which exist as a distinct functional entity. Multi-use buildings and multiple building complexes which are held in singular or common ownership, either by individual, corporation, partnership or other legally recognized entity, shall be considered a development for the purpose of signage.

**Developer** - The Developer is Ridge II HoldCo, LLC.

**DRC** - North Ridge Design Review Committee

**Flashing sign** - A sign that is illuminated with intermittent lighting, animated lighting or with varying intensities of light at intervals of fifteen (15) seconds or less, including a moving light or lights.

**Flex** - Flex space lends itself to a variety of uses. The building is designed for multiple tenants, divided in spaces running front to rear. Office space is located at the front of the building with warehouse space, typically accessed by delivery doors at the rear elevation of the building. The proportion of office vs. warehouse space in each tenant space is not determined until the user occupies the space. The space may subsequently be re-proportioned to accommodate the current occupant or a new occupant's changing needs. The space may include such uses as offices; retail and wholesale stores; warehousing, manufacturing, light industrial, or scientific research functions.

**Freestanding sign** - A sign that is permanent and self-supporting, being non-dependent upon support from a building or other structure, including signs placed upon fences or non-supporting walls.

**General Warehousing** - Establishments primarily engaged in operating merchandise warehousing and storage facilities, including mini-storage facilities. These establishments generally handle goods in containers, such as boxes, barrels, and/or drums, using equipment, such as forklifts, pallets, and racks. Warehousing facilities should be oriented away from public view and located adjacent to complementary uses.

**Gross leasable area (G.L.A.)** - The total floor area of commercial buildings, which floor area is designed for tenant occupancy and exclusive use, including basements, mezzanines and upper floors, if any; expressed in square feet and measured from the center line of joint partitions and from outside wall faces.

**Home occupations** - In any district where home occupations are permitted as an accessory use, the establishment and continuance of a home occupation shall be subject to the following general requirements: use shall be conducted entirely within a dwelling and carried on principally by the inhabitants thereof; use shall be clearly incidental and secondary to the use of the dwelling for residential purposes and shall not change the residential character thereof; total area used for such purposes shall not exceed the equivalent of one-half (½) the floor area, in square feet, of the first floor of the user's dwelling unit; no advertising, display or other indications of home occupation on the premises; there shall not be conducted on the premises the business of selling stocks, supplies or products, provided that incidental retail sales may be made in connection with the permitted home occupations; no exterior storage on the premises of material used in the home occupation; no offensive noise, vibration, smoke, dust, odors, heat or glare noticeable at or beyond the property line, as a result of the home occupation;

Home occupations examples: refer to Town Code at the time of application for allowable home occupation uses.

**JRC** - Johnstown Review Committee

**Light Industrial** - Light industrial shall mean uses engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including precessing, fabrication, assembly, treatment, packaging, incidental storage, sales or distribution of such products. Further, light industrial shall mean uses such as the manufacture of electronic instruments, preparation of food products, pharmaceutical manufacturing, research and scientific laboratories or the like. Light industrial shall not include uses such as mining and extracting industries, petrochemical industries, rubber refining, primary metal or related industries. In addition, all uses allowed in section 1.5.11 shall be included in the definition of light industrial

**Large Lot** - A residential lot 5,000 s.f. or greater

**Lot** - A single parcel of contiguous land occupied or intended to be occupied by such structures and uses as permitted, together with the open spaces required, and abutting on a public street or officially approved way.

**Lot area** - The area of contiguous land bounded by lot lines, exclusive of land provided for public thoroughfare.

**Lot lines** - The lines bounding a lot as defined herein.

**Manufacturing** - The processing of raw materials or parts into finished goods through the use of tools, human labor, machinery, and chemical processing. Manufacturing is a value-adding process allowing businesses to sell finished products at a higher cost over the value of the raw materials used

**Metro District** – Villages at Johnstown Metropolitan Districts Nos. 1-8 formed pursuant to the Colorado Special Districts Act (C.R.S. 32-1-101, et seq.)

**Mixed-Use** – A Site or Building that incorporates more than one use. This could be a site that has both residential and non-residential on the same site or it could be the use of a structure that combines or integrates both residential and non-residential uses in the same structure/building.

**Multi-family** - Multifamily residential is a classification of housing where multiple separate housing units for residential inhabitants are contained within one building, with multiple buildings of the same classification are located on a single lot. Units can be next to each other, or stacked on top of each other and are for rent rather than owned by the residents.

**Office** - A type of land-use where the order of work is service related rather than production of goods or retail sales

**Off-street parking space** - The area on a lot designed to accommodate a parked motor vehicle as an accessory service to the use of lot and with adequate access thereto from the public street.

**Offset/Setback**- The horizontal distance between any structure and a lot line, other than a street right-of-way line.

**Open space** - The gross area of a lot or tract of land minus all streets, driveways, parking lots, and building areas, which is to be or has been landscaped or developed for use by the public or by the residents of the lot or tract of land for private, common or public enjoyment or recreational use.

**Outdoor recreational facilities** - Land and structure, along with accessory equipment, designed and utilized for leisure time activities of a predominantly "outdoor" nature and of more specific purpose than passive park-like open areas, and further classified as follows:

**Public:** Facilities owned and operated by a government agency for limited or general public use.

**Private Commercial:** Facilities owned and operated by a group for profit as a business, whether or not open to general public use.

**Private Group:** Facilities owned and operated by a group for the exclusive use of the members of such group and their guests and not for profit as a business.

**Private Residential:** Facilities owned by an individual, located on the same lot or adjoining lot to his or her family and guests.

**Outline Development Plan (ODP)**- The general plan for the North Ridge development that describes or outlines the existing conditions of the site and the proposed development which includes location map, sketch plan and general development information as required by the Johnstown Town Code.

**Overstory Street Canopy** - Large, deciduous shade trees with high branch systems at maturity that are located within the public right-of-way between the edge of the street and the edge of private or common property or in street medians. Typically, these trees are located between the bike path or sidewalk and the street edge.

**Passenger transportation terminals** - Bus and rail depots, but not including airports, airstrips, and landing fields. Any such use shall be located not less than one hundred (100) feet from any residential district boundary

**Private lodge or club** - A structure or grounds used for regular or periodic meetings or gatherings of a group of persons organized for a nonprofit purpose, but not groups organized to render a service customarily carried on as a business.

**Professional office** - The office of a doctor, dentist, architect, landscape architect, engineer, lawyer or other similar recognized profession.

**Retail store** - A commercial establishment for the sale of material goods or commodities in relatively small quantities directly to the consumer.

**Roof sign** – A sign erected, constructed and maintained above the eaves and attached to the roof of a building. Roof signs are specifically prohibited.

**Screen** - To use landscape materials, walls, fencing, etc. to shield an area from view and to mitigate noise impacts.

**Setback** - The horizontal distance between any structure and the established street right-of-way line.

**Sign** - Any structure or part thereof or any device attached to a structure, or any other form of visual communication applied by paint, illumination, embossing or other technique to a structure for the purpose of directing, advertising, informing, warning or otherwise conveying information visually to the viewer.

**Small Lot**- A residential lot less than 5,000 s.f.

**Single-Family Detached**- Means a residential structure designed to house a single-family unit, with private outside entrance, but without common walls between the dwelling units.

**Single-Family Attached** - A residential structure designed to house a single-family unit from lowest level to roof, with a private outside entrance, but not necessarily occupying a private lot, and sharing a common wall adjoining dwelling units.

**Stormwater Detention** - Containment of controlled runoff temporarily for storage. Typically, the water is stored in a pond for a limited period of time.

**Stormwater Retention** - Containment of controlled runoff temporarily for storage. Typically, the water is stored in a pond for an extended period of time.

**Structure** - A combination of materials other than natural terrain or plant growth erected or constructed to form a shelter, enclosure, retainer, container, support, base, pavement or decoration. The word structure includes buildings. Exception: Not including fences six (6) feet or less in height.

**Use, Accessory** - A use subordinate to and customarily incident to the permitted principal use of the property or buildings and located upon the same lot as the principal use.

**Use, Permitted** - That utilization of land by occupancy, activity, building or other structure which is specifically enumerated as permissible by the regulations of the zoning district in which land is located.

**Use, Principal** - The main or primary use of property or structures as permitted on such lot by the regulations of the zone district in which it is located.

**Xeriscape** - An environmentally friendly landscape design approach where some or all of the following techniques are utilized: selecting low water demanding plants, grouping plants by their cultural needs, reducing turf areas, using turf types with low water requirements, using plants native to the region being designed, using mulches to cover soil and save moisture, irrigating by zoning plants together with similar water needs and by using efficient head layout and water distribution patterns, and performing regular maintenance to preserve the landscape and conserve water.



# Town of Johnstown

## PLANNING & ZONING COMMISSION AGENDA MEMORANDUM

---

**ITEM:** The Ridge Design Guidelines (ZON22-0012)

**DESCRIPTION:** The Ridge Design Guidelines give direction to development and update performance standards for 159.3 acres across The Ridge Development.

**LOCATION:** SE corner of I-25 60 and LCR 18/Hwy 402/Freedom Parkway

**APPLICANT:** Ripley Design and TST Consulting Engineers on behalf of J-25 Land Holdings, LLC

**STAFF:** Tony LeFevre, Planner I

**HEARING DATE:** February 14, 2024

---

### ATTACHMENTS

- 1- Vicinity Map
- 2- 2018 The Villages at Johnstown Performance Standards
- 3- The Ridge Design Guidelines

### BACKGROUND AND SUMMARY

The applicant, J-25 Land Holdings, LLC, requests approval of The Ridge Design Guidelines covering approximately 159.3 acres of land, located east of I-25 and south of Larimer CR 18/Highway 402/Freedom Parkway.

The subject property was part of the 2018 The Villages at Johnstown Amended Preliminary Plat and Performance Standards that approved the preliminary plat and design guidelines concurrently. The Ridge Design Guidelines were submitted as part of a larger effort by the developer to provide standardized Design Guidelines across The Ridge, North Ridge and adjacent retail, commercial and residential properties. The proposal for The Ridge Guidelines was submitted in November 2022 for staff but review has not been presented to the Town of Johnstown Planning and Zoning Commission.

### SURROUNDING ZONING & LAND USE

North: PUD - North Ridge PUD, mixed use commercial  
East: PUD - Ridge Filing 2, Single family residential under development

The Community That Cares

[johnstown.colorado.gov](http://johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO 80534 | F: 970.587.0141

South: Unincorporated Ag, & PUD - South Ridge, Future single family residential development

West: Interstate 25 and City of Loveland

#### **PUBLIC NOTICE AND AGENCY REFERRALS**

Notice for the Planning and Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, February 1, 2024. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 800 feet of the property in questions. This notice included a map of the proposed zoning changes. Based upon the changes proposed, this land use designation amendment did not warrant a full referral review by the Johnstown Review Committee (JRC). No neighborhood meeting was required at the time of submittal. The Town will hold neighborhood meetings for the surrounding property owners when future development plans are required that implement these design guidelines.

No public comments or questions have been forthcoming to Town Staff, as of the publication date of this memorandum

#### **STAFF ANALYSIS**

The Ridge Design Guidelines are in substantial compliance with the Town of Johnstown Land Use Code. The Design Guidelines will provide consistent signage and design standards across The Ridge Subdivision Filings 3 and 4 developments, as well as in adjacent properties to the north and northwest. These updated design guidelines provide clear design standards for future commercial, retail and residential development within The Ridge subdivisions and they will supersede the 2018 The Villages at Johnstown Performance Standards (see attached).

#### **COMPREHENSIVE PLAN COMPLIANCE**

GOAL L1 of the adopted Johnstown Comprehensive Plan reads as follows: Ensure neighborhood character and amenities contribute to the health and wellbeing of diverse residents. Staff finds that the proposed design guidelines further this goal, because they establish consistent design standards for a large project area.

#### **STRATEGIC PLAN COMPLIANCE**

GOAL: Expect and encourage community centered design.

*Strategy: Create and maintain neighborhoods and activity centers with high standards of site and architectural design.*

Staff finds that the proposed design guidelines correlate directly with the Goal and Strategy listed above. Establishing comprehensive design guidelines for large projects and project areas creates neighborhood cohesion and an elevated sense of community beautification.

*The Community That Cares*

[johnstown.colorado.gov](http://johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO | F: 970.587.0141

## **RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS**

It is recommended that Planning and Zoning Commission send a positive recommendation to Town Council concerning The Ridge Design Guidelines based upon the substantial compliance with Town of Johnstown Land Use Code, and alignment with the Johnstown Comprehensive Plan and Johnstown Strategic Plan.

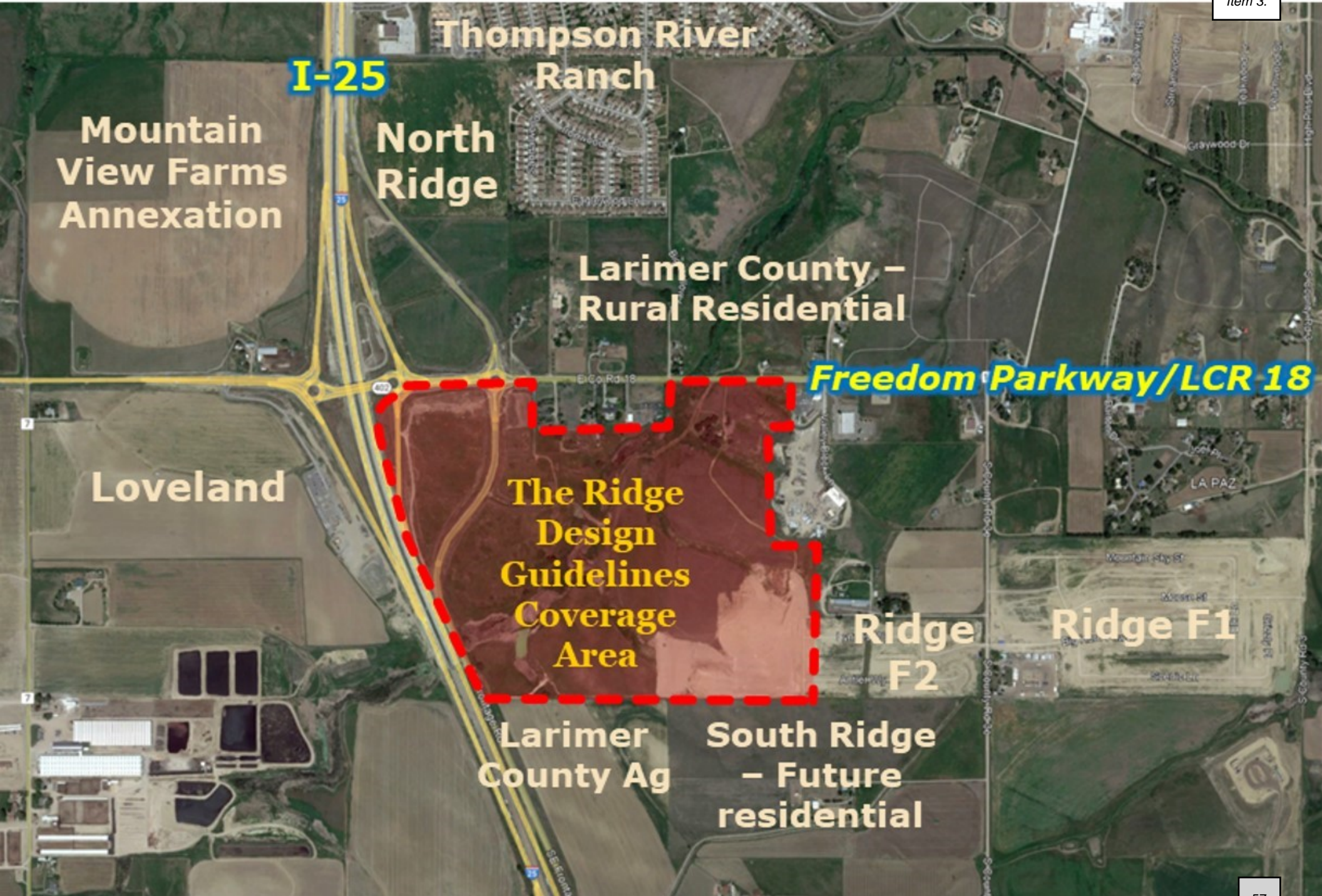
### **Recommended Motion**

Based on the application materials received and analysis and presentation at the hearing, the Planning & Zoning Commission moves to recommend to the Town Council approval of The Ridge Design Guidelines.

### **Alternate Motion**

Motion to Deny: "I move that the Commission recommend to the Town Council denial of The Ridge Design Guidelines based upon the following..."





# THE VILLAGES AT JOHNSTOWN PERFORMANCE STANDARDS

t h o m p s o n   a r c h i t e c t s

J25, Land Holdings LLC

art - life - architecture

revised 11/13/18  
keith@thompsonarchitectsllc.com



**Architecture**  
interiors  
planning  
art  
furniture

telephone: 303 304 1030  
www/thompsonarchitectsllc.com



# ACKNOWLEDGEMENTS

The Villages at Johnstown welcomes you to our community.

**DESIGN REVIEW COMMITTEE**

J-25 Land Holdings, LLC  
8901 E Mountain View Road, Ste. 150  
Scottsdale, AZ 85258  
Telephone: 480-295-7600

**PREPARED BY:**



THOMPSON ARCHITECTS LLC  
100 S ELM STREET  
DENVER, COLORADO 80246  
KEITH THOMPSON AIA  
TELEPHONE: 303 304-1030  
keith@thompsonarchitectsllc.com

Issue Date: April 26th, 2006  
Revised: 05.20.05, 07.29.05, 09.02.05, 09.28.05, 09.18.2018, 10.5.2018, 10.13.2018, 11.09.18

THIS DOCUMENT MAY NOT BE DUPLICATED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THOMPSON ARCHITECTS LLC.

**JOHNSTOWN DOCUMENTS:**

TOWN OF JOHNSTOWN BUILDING AND ZONING CODES  
CONTACT TOWN OF JOHNSTOWN AT 970.587.4664

# TABLE OF CONTENTS

<b>A. INTRODUCTION AND SUBMITTALS</b>	<b>3</b>
1. PURPOSE OF THE VILLAGES AT JOHNSTOWN PERFORMANCE STANDARDS	
2. SUBMITTAL REQUIREMENTS	
<b>B. THE VILLAGES AT JOHNSTOWN BOUNDARIES</b>	<b>6</b>
1. THE VILLAGES AT JOHNSTOWN	
2. THE WEST VILLAGE: MIXED USE / M.U.	
3. THE INDUSTRIAL VILLAGE: LIGHT INDUSTRIAL / L.I.	
4. THE CENTER VILLAGE: RESIDENTIAL WEST / R.W.	
5. THE EAST VILLAGE: RESIDENTIAL EAST / R.E.	
6. OPEN SPACE/TRAIL CORRIDOR	
<b>C. PLANNING</b>	<b>8</b>
1. SETBACKS	
2. USES, AMENITIES, AND NON-PERMITTED USES	
3. SITE COVERAGE	
4. UTILITIES	
5. WATER QUALITY	
6. NON-POTABLE IRRIGATION	
7. DESIREABLE REQUIREMENTS	
<b>D. PARKING</b>	<b>11</b>
1. ACCESS	
2. CIRCULATION	
3. SERVICE, DELIVERY, EMERGENCY, AND UTILITY ACCESS	
4. PARKING LOTS	
5. PARKING STRUCTURES	
6. FUTURE PARKING	
7. MOTORCYCLE PARKING	
8. RV AND BOAT PARKING	

**E. PEDESTRIANS** **13**

- 1. PEDESTRIANS
- 2. PEDESTRIAN CONNECTIONS THROUGH PARKING LOTS
- 3. THE DISABLED
- 4. VEHICULAR SEPARATION
- 5. BICYCLE ROUTES AND BICYCLE PARKING

**F. TRANSPORTATION** **15**

- 1. TRANSIT DESIGN
- 2. STREETS

**G. ARCHITECTURAL** **15**

- 1. MASSING AND COMPATIBILITY
- 2. ALLOWABLE HEIGHTS
- 3. FORM
- 4. ROOFS
- 5. MATERIALS AND COLORS
- 6. ENTRANCES
- 7. SERVICE AREAS
- 8. CONSERVATION

**H. LANDSCAPING** **18**

- 1. GENERAL
- 2. LANDSCAPING STREETSCAPES
- 3. PARKING LOT LANDSCAPING
- 4. LANDSCAPING TRANSITIONS
- 5. LANDSCAPE WATER CONSERVATION
- 6. LANDSCAPE STANDARDS
- 7. MAINTENANCE
- 8. FENCES AND SCREENING

**I. LIGHTING** **22**

- 1. LIGHTING FIXTURES
- 2. DECORATIVE LIGHTING
- 3. PARKING LOT, PEDESTRIAN, LANDSCAPE LIGHTING

**J. SIGNAGE** **23**

- 1. MATERIALS
- 2. SHAPES AND SIZES
- 3. LOCATION
- 4. ILLUMINATION
- 5. TYPES

**K. FURNISHINGS** **25**

- 1. FURNISHINGS
- 2. MISCELLANEOUS FURNISHINGS

**L. ENVIRONMENTAL** **25**

**M. CONSTRUCTION** **26**

- 1. CONSTRUCTION STAGING
- 2. TEMPORARY FACILITIES
- 3. MAINTENANCE
- 4. CONSTRUCTION CONTROLS

**N. RESIDENTIAL** **27**

- 1. SUBMITTALS
- 2. ARCHITECTURAL STANDARDS
- 3. FENCES
- 4. RESIDENTIAL PHOTO EXAMPLES
- 5. MINIMUM SIZES

**O. COMMERCIAL PHOTO EXAMPLES** **30**

# 1. INTRODUCTION

## A.1 PURPOSE OF THE VILLAGES AT JOHNSTOWN PERFORMANCE STANDARDS:

*...IMAGINE, BUILD, AND MAINTAIN A QUALITY OF LIFE AT THE VILLAGES AT JOHNSTOWN...*

The purpose of **The Villages at Johnstown Performance Standards** is to provide private developers and owners, public agencies, and service providers the procedures for development of the area. The Performance Standards outline guidelines for property owners and the community. They are designed to protect quality of life, minimize adverse development, protect investments, encourage quality buildings, discourage undesirable buildings, and enhance security and safety for all users. The Performance Standards apply to all new and proposed renovation projects throughout the Villages.

THE VILLAGES AT JOHNSTOWN PERFORMANCE STANDARDS ARE TO BE USED BY:

- All proposed developments
- Town of Johnstown and other local governments
- Sales and real estate personnel
- Economic development groups
- Owners within the Villages
- Utility Providers

THE PURPOSE OF THE STANDARDS:

- Maintain the vision, and aspire to develop a Village for the Johnstown community
- Establish consistency of land uses and adjacencies
- Create economic strength as a planned community
- Establish a reference for developers, buyers, and Town officials
- Foster collaboration, teamwork and sense of community
- Supplement the Town of Johnstown's building and zoning codes, ordinances, and Town standards

The Villages at Johnstown

## A.2 SUBMITTAL REQUIREMENTS

The property comprising The Villages at Johnstown was annexed to the Town in 2000 subject to the terms and conditions of the R & D Development and Cross Annexation Agreement dated March 1, 2002. As part of that Annexation Agreement, (Section 36) Johnstown and the Property Owners agreed to develop performance standards for the purpose of addressing design considerations. These include architectural, site planning, landscaping, streetscape, and signage basics for land use within The Villages at Johnstown.

The following information outlines the order for submittals and approvals for development projects. Projects must first be submitted to The Villages at Johnstown Design Review Committee prior to submission to the Johnstown Review Committee. After approval is gained by both, the project may be submitted for development and/or building permit application. For single family residential projects, refer to Section N for additional information.

**Design Review Committee (DRC):** The purpose of the DRC is to ensure that proposed developments adhere to the guidelines established in the Performance Standards. This will maintain a consistency of planning and design for the entire project. DRC members may include a licensed Architect, Licensed Civil Engineer, Landscape Architect, Land Developer, and rotating professional. The Villages at Johnstown Performance Standards apply legally to all land that is part of The Villages at Johnstown, regardless of ownership, and are in addition to the zoning and land use regulations of local government. The Performance Standards and supporting documents are administered and enforced by the DRC.

**DRC Approval Process:** Any proposal to construct, modify or renovate within The Villages at Johnstown must have plan approval from the DRC prior to project start. The DRC's review and approval process also applies to site plans, landscape plans, photometric plans, building elevations, signage, changes in property use, and maintenance activities. After approval by the DRC, the applicant may proceed to the JRC, in strict compliance with the terms and conditions of the approval. The Town or DRC may perform periodic site inspections, both during development and on an ongoing basis to ensure compliance.

Projects are placed on a formal meeting agenda by the DRC only after applications have been submitted, and at least two weeks prior to a meeting. Formal presentations to the DRC are mandatory for most development projects, however, most details are reviewed through informal meetings with DRC representatives.

This process is designed to expedite the preparation and approval of the plans for a specific site where development is considered. There are three phases in the development approval process:

1. Pre-design Conference
2. Design Development (includes plans and elevations)
3. Final submittal

**DRC Required Documents:**

**Pre-Design Documents:** Submit application and fees as applicable. Include site plan and building elevations of the proposed development, with a written description of the proposed use. Contact the DRC to schedule an appointment to review the planned development. Upon approval, proceed to the Design Submittal Phase.

**Design Submittal Documents:** Provide project schedule, phasing plans (if anticipated), alta survey, geotechnical report, traffic report, site plan, concept floor plan, colored building elevations, grading/utilities, drainage plans, landscape plans, photometric plan, material and color boards. Upon approval by DRC, submit the planning package to Johnstown. Proceed to the Final Submittal Phase after Town approval.

**Final Submittal Documents:** Provide final civil plans, utility plans, hydrology study, off-site improvement plans, landscape and irrigation plans, architectural construction documents, structural documents, mechanical documents, plumbing documents, electrical documents, specifications, structural calculations, energy calculations, material boards, signage package, and copy of permits from all Town agencies. An updated schedule for the project from start date to move in date will also be required.

Approval is contingent upon the submittal of materials, payment of any designated fees or expenses, and a favorable review. A "Notice of Committee Action" letter from the DRC will be sent to each applicant upon approval. This notice will state whether project approval has been granted, and outline any conditions associated with the ruling.

Review fees will be required for all DRC submittals, and shall be paid on or before the phase scheduled for review. The DRC may require that the applicant attend additional meetings due to incomplete, inadequate, or improper submittals. The applicant shall be responsible for paying the full costs of such services. No written confirmation of a DRC action will be issued until all appropriate fees have been paid. A current schedule of fees is contained in the submittal procedures packet.

**Johnstown Review:** The Town will conduct their own review of the submittals, and may seek the assistance of other Town employees or consultants whose expertise is deemed necessary. All Town subdivision and re-subdivision requirements, building codes, permits, fees, and other documents as adopted by the Town apply.

**JRC Approval Process:** All individual developments in The Villages at Johnstown shall be reviewed and approved by the Town. The approval process shall also meet land use developments set forth in the Town of Johnstown's Zoning Code.

**Pre-Application**

The applicant shall schedule a pre-application conference with the Town Planner prior to submittal of any project proposal.

**Final Development Plan Submittal and Process**

All development projects shall be submitted in compliance with the current Town of Johnstown Community Development Application requirements for Final PUD Development Plan. (Forms are periodically updated.) The application shall include all required fees, as well as a certification from

The Villages at Johnstown DRC stating that the development meets all the applicable standards and guidelines of The Villages at Johnstown Performance Standards. If the Town determines that the application is complete, the application will then be reviewed by the JRC. If the Town determines that the application is incomplete, the Town shall specify in writing the specific ways in which the application is insufficient or incomplete.

The JRC will review the complete application for conformance with all the applicable terms and conditions of The Villages at Johnstown's Performance Standards. The JRC is comprised of the Town Manager, Town Planner, Town Attorney and Town Engineer. The review shall be completed within 45 calendar days of the Town's determination. The 45-day period may be extended in writing by the applicant. Review of the application by the JRC is administrative in nature, for the purpose of determining that the proposed development, as set forth in the application, complies with the terms and conditions of The Villages at Johnstown Performance Standards.

**JRC Approval:** The JRC will approve the application if it complies with the applicable terms and conditions of The Villages at Johnstown Performance Standards, and other Town requirements. All subdivisions and re-subdivisions are to be approved in accordance with the Johnstown Subdivision Regulations.

**Additional Criteria & Updates:** In addition to the criteria herein, the DRC and the JRC may develop additional criteria, consistent with those already established. Occasionally, any of these additional criteria may be amended by action of the DRC and the Town. Changes in land use, or changes greater than the 20 percent dimensional criteria that will become a permanent part of the design guideline document, shall constitute a major change. This must be brought back to the Planning Commission and Town Board for review and approval.

**Variances:** The DRC and JRC may authorize variances from these criteria when circumstances such as topography, natural obstructions, hardship, aesthetic considerations, or environmental objectives may warrant as long as they are not superseded by applicable JRC of Johnstown zoning regulations. A variation of up to 20 percent in dimensional standard is allowed if it improves the project design, or an unreasonable hardship can be demonstrated.

**Final Plan Amendments:** Amendments to final plans must be approved by the DRC and the JRC.

Relationship to Other Documents: The Performance Standards establish the guiding principles for review and processing of each development. Other documents were used as a reference for the Performance Standards. The version currently in effect when the Performance Standards were adopted shall apply.

- R & D Development and Cross Annexation Agreement – March 1, 2002
- Town of Johnstown Zoning Code
- Town of Johnstown Sign Code
- Town of Johnstown Comprehensive Plan – April 1, 2001
- Johnstown/Milliken Parks, Trails, Recreation and Open Space Plan – May 2003
- Town of Johnstown Landscape Standards and Specifications
- Johnstown Public Improvement Criteria and Construction Regulations – April 2004
- Johnstown Transportation Plan

**DRC and Town of Johnstown Application:**

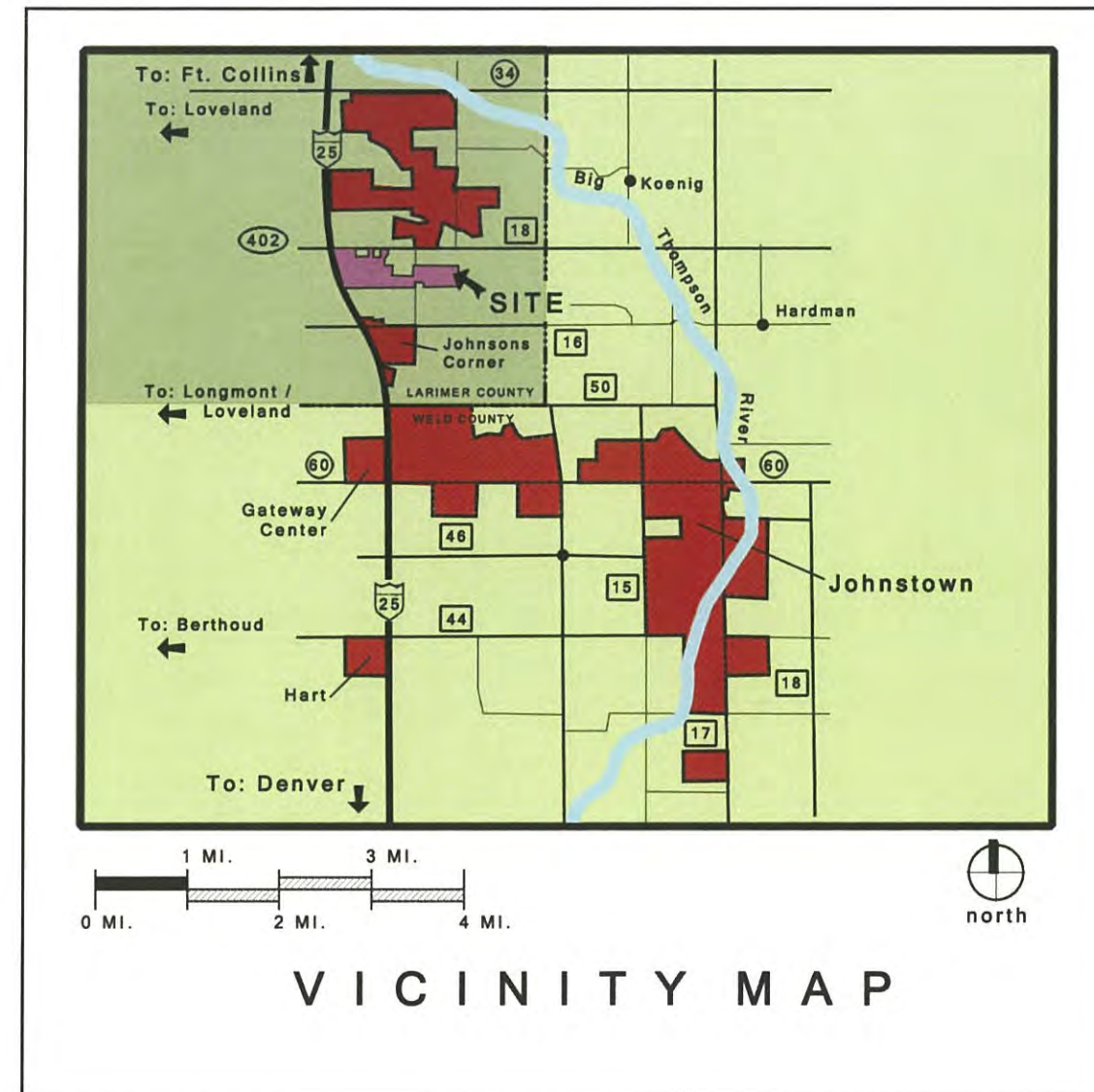
Application forms, fee schedules, and required checklist forms for each applicant are available from the DRC. Single Family Residential has a simplified submittal process. Contact the DRC directly for information and submittal application requirements.

Contact the Town of Johnstown for Final Development Plan application packet.

## B. THE VILLAGES AT JOHNSTOWN BOUNDARIES

The Villages at Johnstown are located along the I-25 corridor. The development has excellent vehicle access. It is centrally located to major population areas, and is ideally located for maximum visibility. The land area to the east is slightly elevated and provides spectacular views of the Colorado Rocky Mountains. The site is conveniently located to the west of Johnstown. The location is also south of Greeley and Fort Collins, east of Longmont and Loveland, and north of Denver.

The Villages at Johnstown design criteria are enclosed in this Performance Standard booklet. Additional standards (such as road designs) are available from the Town of Johnstown. The Performance Standards are based on a collaboration of design principles, sound recommendations, and strategic land use in order to achieve the desired objectives for the Villages. Welcome to The Villages at Johnstown.





# VILLAGES

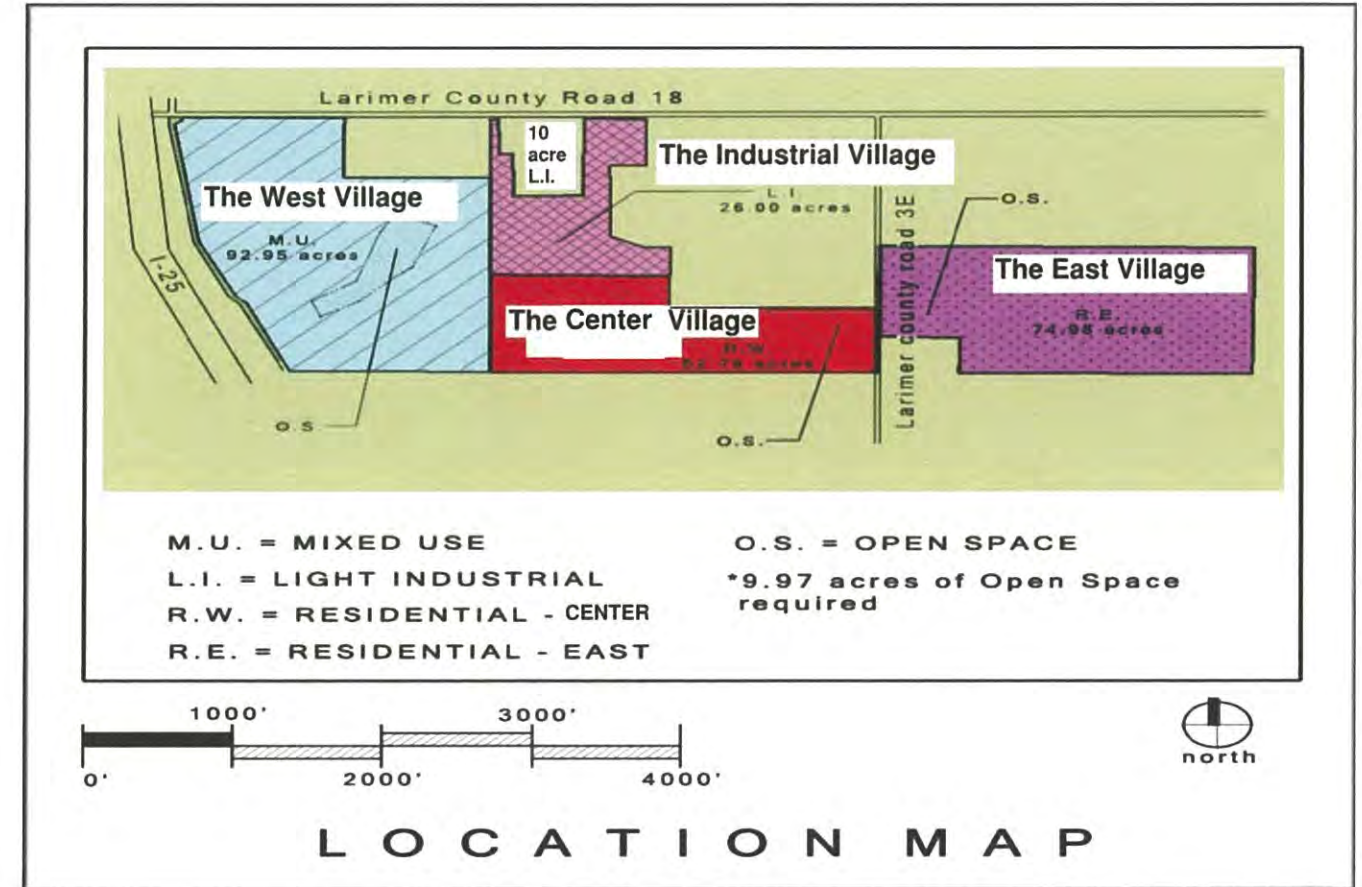
## B.1 MASTER PLAN FOR THE VILLAGES AT JOHNSTOWN

It is the intent that The Villages at Johnstown Performance Standards be the guideline for quality design for all land uses within the development. It is also the goal of the Performance Standards to allow professional planners, architects, and designers flexibility. For example, the needs of Mixed Use/Commercial/Retail will be very different from the needs of the Residential area. Therefore flexibility in specific land uses, design requirements, and development approaches should be evaluated for each project. Each intended use has unique goals to collectively support the overall theme of The Villages at Johnstown.

## B.2 - 6

Within the annexed area, the following land uses have been identified. These relate to the level of current planning studies, anticipated development schedules, and public/owner involvement in the planning process. The Villages at Johnstown community includes:

- **THE WEST VILLAGE** : Contains approximately 93 acres of mixed use commercial, retail and office
- **THE INDUSTRIAL VILLAGE** 36 acres
- **THE CENTER VILLAGE** R.W. (Residential West) 53 acres including high density residential use and several lots for single family use
- **THE EAST VILLAGE** R.E. (Residential East) contains lower density residential, made up of primarily single family residential. Open space and trail Corridors will be required throughout. Each development will be required to contribute their pro-rated share to the open space.



*Note: Acreage listed above is approximate*

# C. PLANNING

New projects must be designed to improve The Villages at Johnstown. Projects must be master planned to be accessible for visitors and all users. Circulation must be well situated for all modes of transportation. Designs must consider all aspects of neighboring parcels, existing or proposed, and traffic arteries. Proposals must respect the site's uniqueness. Common shared spaces may be created through a collection of buildings framing the center of activities, pockets of spaces, exterior rooms or other space utilization methods.

New developments should respect the indigenous amenities, natural features and the relationships of buildings to each other. All types of circulation must be well thought out. Group buildings in order to generate a sense of space, create meeting areas, and enhance pedestrian centers. Creating physical and visual connections between separate structures and sites are required to link the Village. Design for interaction within the Village is a driving force of the DRC. Sites should be developed to provide order and compatibility. Avoid confusing building massing or stand-alone developments that don't relate to other areas. All proposals must respect wind direction, natural drainage, angle of the sun, and microclimate considerations.

## C.1 SETBACKS

Provide a thoughtful plan with respect to building setbacks and incorporate pedestrian links along major and minor streets. Setbacks are established to ensure an ample distance for a pleasant and functional pedestrian walkway, and provide landscape settings between buildings, streets, and adjacent parking. These setbacks will also act as a planned buffer to screen automobiles, large paved areas, and service areas, using a diverse selection of planting materials.

Buildings surrounded by parking lots are not allowed, with the exception of hardship cases or for emergency vehicle routes. In these instances, a comprehensive plan with a well-conceived landscape design must be submitted to the DRC. Locating buildings to shield automobiles from public view is encouraged.

### Minimum Building Setbacks:

▪ Freeway / Highways	80'
▪ Major Arterial	30'
▪ Major Collector	30'
▪ Frontage Road	20'
▪ Minor Arterial	20'
▪ Minor Collector	20'
▪ Front	20'
▪ Side and Rear	10'
▪ Adjacent to Residential	50'
▪ Over 25,000 GSF	25'
▪ Multi Residential	20'
▪ Single Family	20'

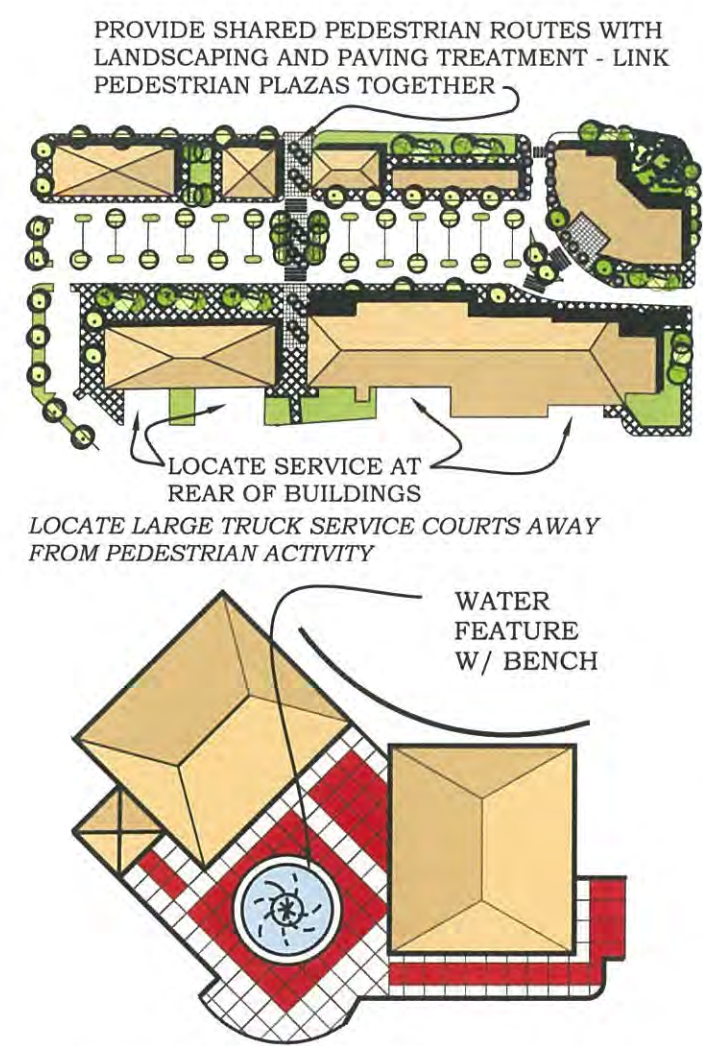
See page 28

### Minimum Parking Setbacks:

From all perimeter property lines or right-of-way: setback is 20' for front parking, 10' for side parking and 5' for rear property or lot lines. Parking setbacks shall be landscaped.

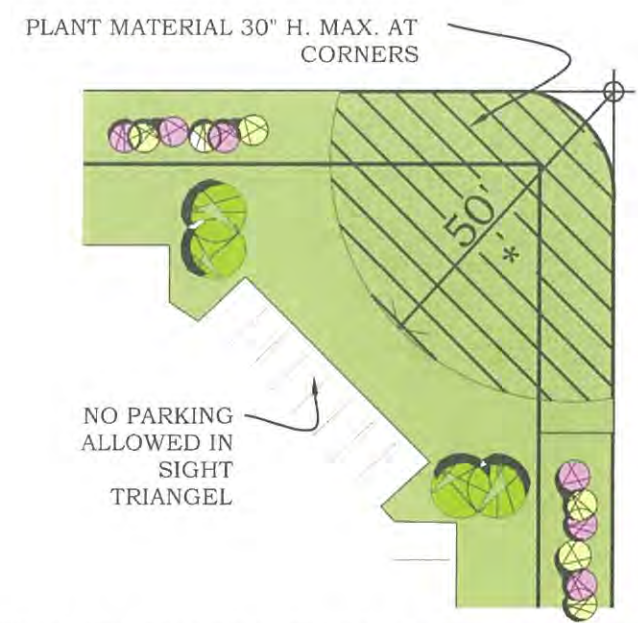
### Setbacks Reductions:

Setback distance for minor arterial and major collector property lines can be reduced to 20' minimum provided an abundance of year-round foliage with winter color is utilized. Reduction in setback is allowed providing pedestrian links are safely designed. This can be accomplished through the use of raised planters, screen walls or other acceptable solutions.



GROUP BUILDING TO CREATE CENTERS OF ACTIVITY - EXAMPLES: FOUNTAINS, PLAZAS, LANDSCAPING WITH SEATING AREAS, ETC.

The Villages at Johnstown will accept zero lot lines, and reduced setbacks for "public spaces" based upon well-conceived and comprehensive planning solutions.



CORNER SITE TRIANGLES TYP - 50' AT ARTERIAL STREETS AND \* 30' FOR COLLECTOR STREETS.

Providing an abundance of pedestrian paths and trail connections will increase credits for reduced setbacks. Donating or granting land for approved open space and trails may reduce building setbacks by as much as 50% in commercial zones.

In all cases any reduction in setbacks must be approved by the DRC and the JRC.

## **C.2 USES, AMENITIES AND NON-PERMITTED USES**

### **Uses:**

In general, most uses are permitted within the Village. Mixed use of commercial, retail, and light industrial along with mixed use of residential densities allow for a wide range of uses and planning flexibility.

### **Amenities:**

The Villages at Johnstown's beautiful Rocky Mountain surroundings, plus proposed ponds, park setting and open space designs are amenities to be enjoyed by all. Capturing vistas and creating built features to experience these amenities are encouraged.

All new developments should be designed to protect nature. Create manmade features that will enhance the overall Villages at Johnstown concept.

Outdoor spaces, courtyards, sitting areas, amphitheaters, and pedestrian amenities should be designed to be easily accessible. Include manmade and natural amenities into the proposed concept and final construction documents.

### **Non-Permitted Uses:**

**Excluded uses in the Industrial Villages are as follow:**

- H4 and H5 high hazard manufacturing
- Meat packing
- RV and Auto Sales dealerships
- Concrete Batch Plants
- Asphalt Batch Plants
- Packing Houses
- Foundries

### C.3 SITE COVERAGE

Landscaped areas, plazas, trails and exterior rooms are greatly encouraged, and will be a major feature of The Village @ Johnstown. These valued amenities will naturally regulate the guidelines for design. The impact will be as follows:

- Areas including the “footprint” of buildings, asphalt or concrete paving, and the drive lanes of each parcel in the entire development exceed 75%. Light Industrial may be increased to 85%.

Required open space for residential parcels is 30%. Open space includes streetscapes, hardscapes, plazas, fountain areas, ponds, and areas such as sidewalks with bench seating. All areas should be pedestrian friendly. Larger developments may want to consider dedicating public land for parks and open trail systems. Buildings with public "indoor spaces" may also receive credit. Indoor spaces are allowed to be considered as part of the open space requirement, if approved in advance by The Villages at Johnstown, the DRC and JRC.

- Shared, adjacent or abutting open spaces with adjacent property owners will allow a reduction in setback requirements. See section C.2.
- 10% of all single-family residential land is required to be designated as land used for parks and recreation.

### C.4 UTILITIES

Above ground utilities are generally unsightly. Utilities such as rooftop units, miscellaneous electrical equipment, satellite dishes, transformers, communication antennas etc. must be screened from view. All sign transformers are to be hidden from public view and no exposed conduit is allowed.

Screen all transformers, utility equipment and other utility cabinets from pedestrian views, building views, streets and adjacent property. Utilize green walls of densely placed plant materials or vertical screen walls that match building materials and finishes.

Truck service courts, delivery and storage docks are to be screened from pedestrian views, including views from sidewalks, trails, public and private open plazas, streets and other amenities.



UTILIZE POCKETS OF EXTERIOR SPACE FOR OUTDOOR AMENITIES

All trash enclosures and screen walls must match the primary building materials per the individual site. Wood screen walls for trash enclosures are not allowed. Landscaping should be incorporated with screen walls for a pleasing appearance.

### C.5 WATER QUALITY

Wherever possible, drainage collection systems should attempt to be an amenity. Planted holding areas and designed rockscapes should be visually pleasing. Minimizing runoff from parcels and to land downstream is vital. Grouping detention areas and water quality ponds for regional collection is a preferred solution. Creating planted features such as shallow pools of cattails and indigenous grasses can beautify detention areas. Ditches, swells, low holding ponds, and collection areas shall be planted to capture storm waters, and provide a means for water quality treatment.

Locate water quality systems away from primary elements such as buildings, low-level pedestrian areas, and highly active areas.

Design water collection systems to simulate natural ponds, instead of man-made tanks or pits.

### C.6 NON-POTABLE IRRIGATION

Non-potable water may be available to the West and Industrial Villages. Non-potable irrigation systems may be utilized provided that such collection systems are approved by the DRC and JRC (and must follow applicable Colorado laws). Residential developments are also encouraged to utilize similar methods for water conservation programs. Low water landscaping and xeriscaping is encouraged for all developments.

### C.7 DESIREABLE DEVELOPMENTS

- Development for new building, renovations and land uses are required to be in keeping with the overall Village concept. Following are a few requirements: Address all types of transportation systems, including future system projections, for traffic related volume.
- Provide roadway designs for initial and final phases.
- Provide a safe network of systems that allow free movement of pedestrians from automobile traffic.
- Provide effective and safe access connections to major roadways.
- Provide warning signs and directional signs to aid all modes of transportation and pedestrian traffic.
- Promote sustainable and green designs.
- Promote intelligent usage of water.
- Promote and link amenities within the Village.
- Promote the use of bicycles.
- Promote the concept of work, live and play as part of one community.

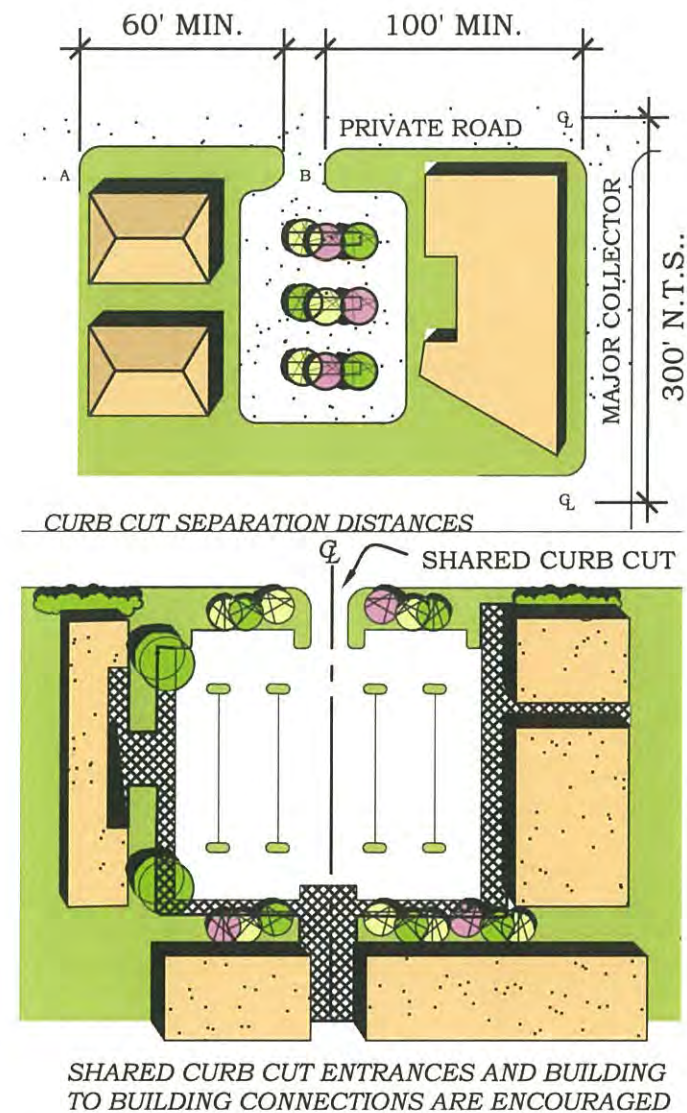
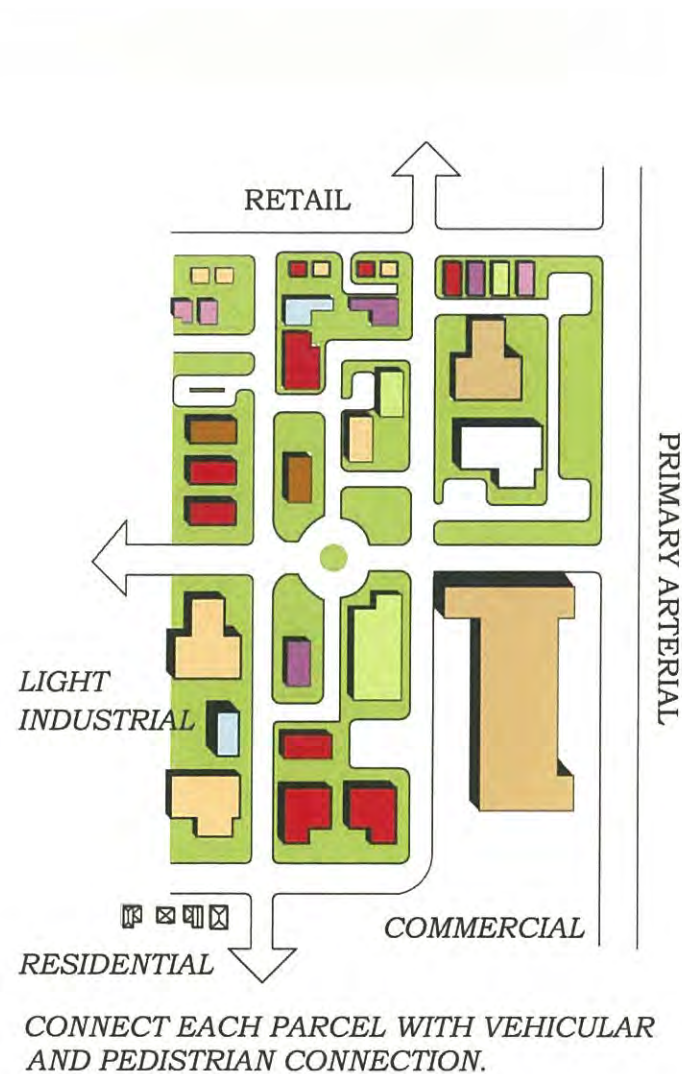
## C. PARKING

The Villages at Johnstown's arterial streets, collector streets, drive lanes, curb cuts, vehicular circulation, and parking designs are an important design element in the Villages. This network of systems must be designed with safety as a principal component. Bicycles and pedestrians should be given priority in the overall design and safety plans of each individual site design.

### D.1 ACCESS

Designers must conform to the protection and welfare of the community. Parcels are encouraged to minimize the number of curb cuts from major roadways. Provide safe, clear and efficient service to each parcel, and utilize safety measures. A comprehensive traffic analysis demonstrating access and the impact of traffic may be required.

Design elements including benches, water features, signs, brick paving, distinctive landscaping, rock walls, and feature lighting are to be incorporated into the design concept. Designs must be compatible within the Villages as a whole. Position curb cuts far enough apart to allow ample queuing, turning, deceleration or acceleration for vehicles. Develop adequate distances between curb cuts and corners for anticipated speed limits. The Village encourages common curb cuts between property owners, with access easements and connecting pedestrian routes. Shared parking concepts, and emergency drive lanes are also encouraged. For shared entries, develop clear lines of vision and colored crosswalks.



### D.2 CIRCULATION

Developments must provide a well-designed circulation plan. This includes streets, drive lanes, trails, and service roadways. A deliberate, protected, and well-designed network of systems is paramount. All transportation methods must connect the Villages with peripheral land uses through paved roads, concrete sidewalks and/or walking and biking trails.

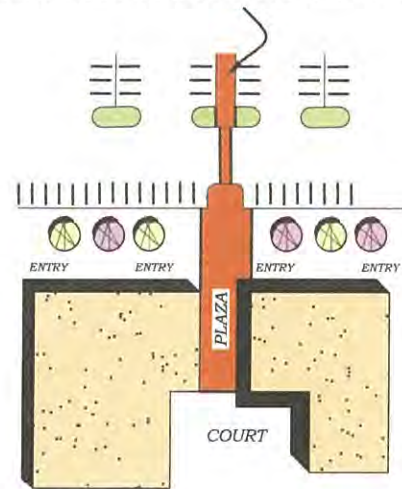
### D.3 SERVICE, DELIVERY, EMERGENCY AND UTILITY ACCESS

- Clearly marked routes for all access and services routes should be apparent, and directional signage must be provided. Safe circulation for all facilities should utilize proper turning radiuses for fire trucks, ambulances, service trucks and delivery trucks. Inside and outside turning radiuses, as well as bumper and trailer swing paths must be clearly understood and designed into the development. Shared access is an excellent and efficient method, as is aligning curb cuts with existing curb cuts across roadways. Screened service areas within building designs are encouraged. Wall screens and landscape screens must be provided to screen service areas and service doors from view.

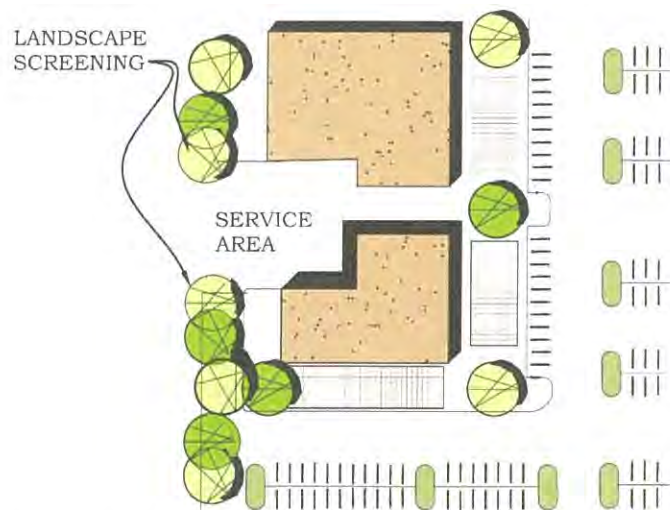


USE BRICK PAVERS, RECESSED STONE AND COLORED CONCRETE IN PEDISTRIAN ROUTES AND DROP OFF AREAS.

PROVIDE PEDESTRIAN ROUTES FROM PARKING LOTS TO PEDESTRIAN PLAZAS



ARRANGE PARKING AISLES AND PEDESTRIAN APPROACH PERPENDICULAR TO BUILDING ENTRANCES.



SCREEN SERVICE AND DELIVERY AREAS FROM PUBLIC VIEW AND STREETS. USE LANDSCAPING, SCREEN WALLS OR CONFIGURE BUILDING TO SCREEN THESE SERVICES.

#### D.4 PARKING LOTS

Parking lots must be designed for the required number of spaces per the development's intended use, or future use. All parking areas are to be surfaced with asphalt or concrete,

and screened to the outside public. Trees and shrubs placed in "parking lot islands" are required for shading lots, and areas set aside for snow stacking are encouraged.

Standard parking stalls are to be 9' wide by 18' long. In limited areas adjacent to appropriate landscaping, parking stalls may be reduced by 2'. Painted parking aisles perpendicular to buildings instead of parallel parking is encouraged. Link large parking areas with pedestrian walks. Connect paths to buildings as well as the primary trail system and perimeter sidewalks. Sidewalks should connect to modes of transportation, open space, parks and other pedestrian features. Cross walks should be of red concrete paving with a 10" x 10" tooled pattern. Paths for pedestrians can be complimented using seating, path lighting, lit bollards, trellises, gazebos, playgrounds or other amenities. Divide parking areas which accommodate more than 105 vehicles into smaller grouped lots. Larger projects with more than 400 cars will not be held to this formula. However, they will require a detailed parking scheme demonstrating landscape design, pedestrian amenities, as well as the use of landscape earth berms to reduce the "sea of asphalt" appearance. Use landscaping or other techniques to reduce the visual impact of large parking areas. Avoid travel lanes in aligned configurations that may encourage speeding, posing a danger to pedestrians.

#### Minimum Parking Ratios:

Required parking spaces are based on the type of building use. The following formulas for parking spaces per gross square feet of area apply. (Round up to nearest whole number.)

- Professional Offices 4 spaces/1000 GLF
- Showroom 2.5 spaces/1000 GLF
- Hotel or Motel 1 space/guest room plus 1 space/2 employees

- Retail Uses 5 spaces/1000 GLF
- Theaters And Restaurants 1 space/3 seats
- Warehouse 1 space per employee per shift
- Single Family 2 space per unit
- Townhomes 1.5 spaces per unit
- Condo 1.5 spaces per unit

Large projects over 100,000 square feet may use a compact stall size of 8.5' x 15' with compact spaces not to exceed 30% of the total parking count. The DRC and JRC may allow reduced parking requirements by the use of shared parking programs. For projects over 200,000 gross square feet, the ratio of compact to standard spaces may be increased to 40%. Because there is a high degree of larger vehicles in Colorado, wherever possible, standard stall spaces of 9' W. x 18' L. are encouraged.

Reductions in parking areas are suggested. Examples are shared parking spaces, off hour/offset hour's programs, etc.

Parking spaces for the disabled in accordance with ADA is required. Provide handicap routes with tactile warnings.

#### D.5 PARKING STRUCTURES

Underground structures and parking below buildings is acceptable. For above ground and free-standing garages, "open garages" are encouraged. Provide open garages with light wells for natural light, and include plant materials. Enclosed secure garages will require ventilation systems as well as fire suppression assemblies. All parking structures exposed to view must match the adjoining building finishes, or be approved by the DRC and JRC.

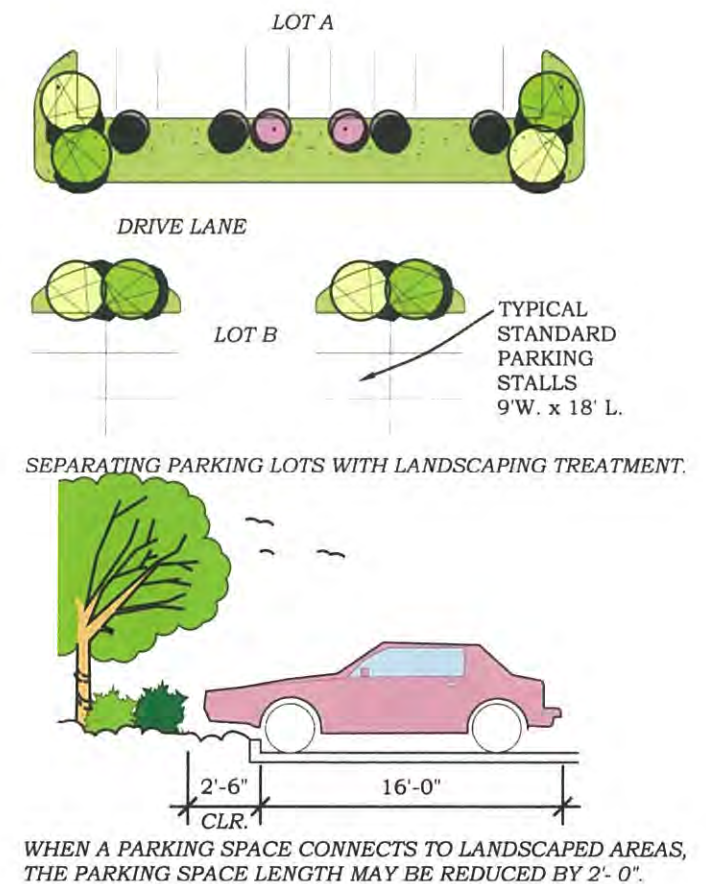
Where a parking structure is anticipated, it may not encumber adjacent parcels. The visual impact of such structures will need to

be carefully orchestrated in the overall design, and corridor views from other developments must not be hindered.

Above-ground garages and parking structures will be held to the same design and performance standards that pertain to buildings. Linking free-standing parking structures to buildings must meet performance standards as pertaining to pedestrian paths, landscaping and safety.

#### D.6 FUTURE PARKING

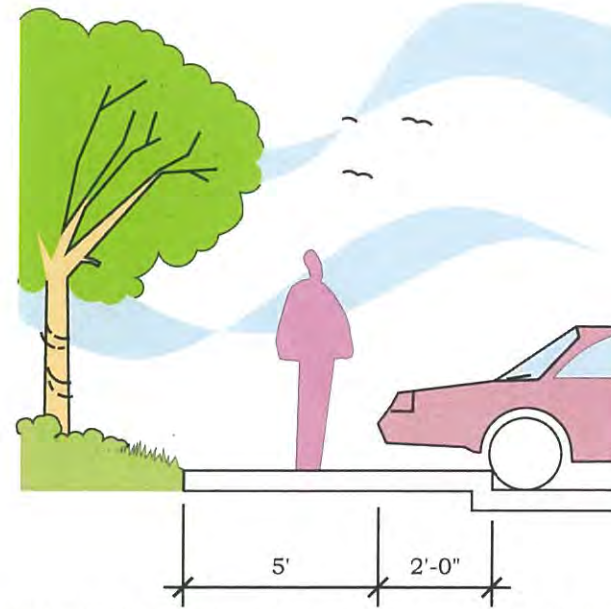
Allowing for parking phasing may be a necessity. In these cases, the DRC and JRC will require a master planning and phasing plan. Construction must not disrupt existing day-to-day operations for the user or the community. While phasing is a normal device to planned growth, minimizing the impact to the development must be thought out prior to any improvements.



### D.7 MOTORCYCLE PARKING

Motorcycle parking should be provided in each development, and can reduce standard parking stall requirements. For every two motorcycle parking stalls, one car stall may be reduced. For a maximum of 5% standard parking stall reduction. Example: for every 100 standard sized parking stalls, 5 stalls may be omitted provided 10 motorcycle stalls are utilized. Use clearly worded signage in motorcycle areas, and paint stripe motorcycle parking stalls. Signs must indicate stalls as “motorcycles parking only”

Boat and RV parking is permitted in the Villages, provided that they are screened from view.



SIDEWALK WIDTHS SHOULD BE INCREASED BY 2'-0" WHERE ADJACENT TO HEAD-IN-STALLS.



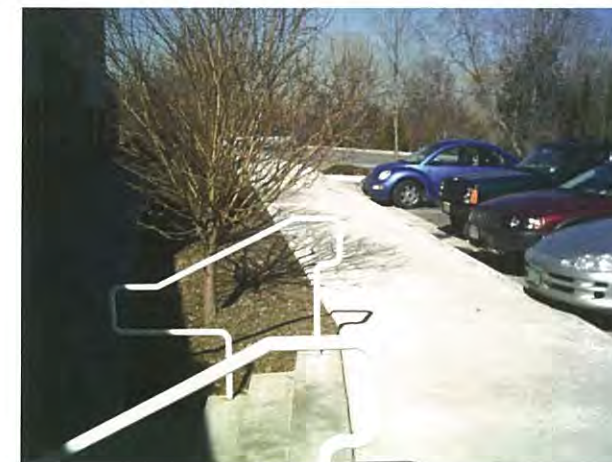
EXAMPLE OF A MEDICAL OFFICE BUILDING

## E. PEDESTRIANS

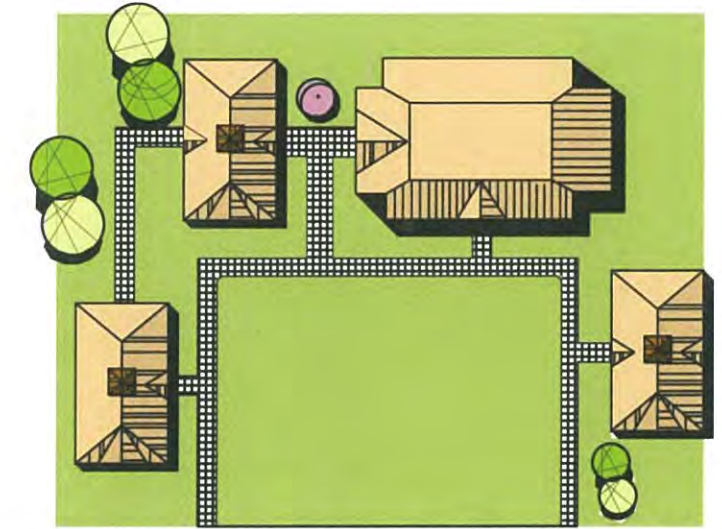
### E.1 PEDESTRIAN CIRCULATION

Walkways, trails and bicycle routes should be designed to create a pleasant experience in the Villages. Bike paths and bike parking should be established to develop a network of accessible, safe and attractive experiences for users.

Separate well-defined pedestrian and vehicle routes, utilizing landscaping buffers, walls, planters, bollards or other means of protecting the public. Define areas of pedestrian, bicycle, and vehicle interface using accent colored concrete. Differentiate zones by changing the paving material is a useful means of minimizing traffic conflicts. Other safety measures include directional signage, and low plant materials (in sight triangles). Signaled devices and warning tracks are also

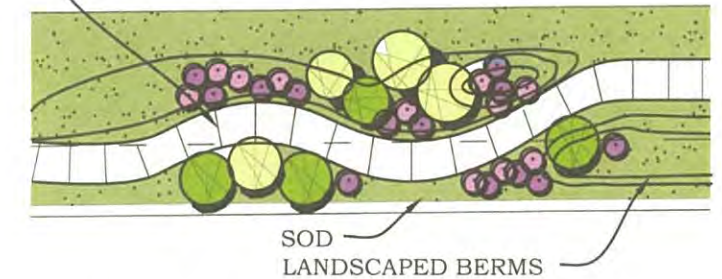


PROVIDE OVERSIZED SIDEWALKS AT FRONT END PARKING – MIN. 7' WIDE.



PLACE SIDEWALKS TO LINK AREAS OF PEDESTRIAN TRAVEL.

MEANDERING SIDEWALK - PROVIDE A VARIETY OF PLANT MATERIAL ON EACH SIDE OF SIDEWALK



MEANDERING SIDEWALKS - TYPICAL AT STREET SIDE

Connect buildings to buildings, and buildings to drop off and pick up zones. Locate pedestrian routes in sunny areas, not in areas that may develop ice problems during winter months. Design sidewalks to be a minimum of 5' wide and detached from all streets by providing a 6' wide (minimum) landscaped planting zone. Design designated drop-off areas outside of the traffic flows. Install 7' wide sidewalks at front end parking to accommodate “car nosing”.

### E.2 PEDESTRIAN CONNECTIONS THROUGH PARKING LOTS

Bicycle and pedestrian paths thru private parking lots must be separated from automobiles. The separation of car and people are a primary safety requirement throughout the Villages. Sidewalks must clearly define pedestrian paths from parking zones to a building entry. All efforts to reduce the interfacing of automobile and pedestrian traffic must be considered. Try to avoid pedestrians interacting with service areas and traffic zones. Clearly separate all vehicles from the pedestrian as much as possible.

### E.3 THE DISABLED

The Villages must be accessible by all users. ADA standards will be in full effect and it is up to each development to meet these standards. Contact the International Code Council for the latest edition for ADA requirements and amendments. Provide parking for the disabled immediately adjacent to entrances. All aspects of the ADA are required and a written letter to the DRC is mandatory at the conclusion of construction verifying that ADA conformance has been met.

### E.4 VEHICLE SEPARATION

Separate automobiles, motorcycles and truck traffic from pedestrians and bike paths whenever possible. If necessary, use site walls, earth berms and landscape features as tools to distinguish clear paths and routes. Separations should be architecturally pleasing, and designed as an asset to the Villages. Other devices may include raised curbs and walkways, masonry walls, bollards, control gates and operable gates with card readers. When applying these methods of separation, utilize materials that will complement the building materials and meet the overall design concept implemented in the development. For example, install benches that are similar in color and style with trash receptacles, signage or pedestrian light bollards.

Design walkways to include safety features such as bike racks allowing for adequate dismounting space. Strategically locate barriers such as raised planters to define paths or seating areas. The intent of these features is to prevent dangerous shortcuts.



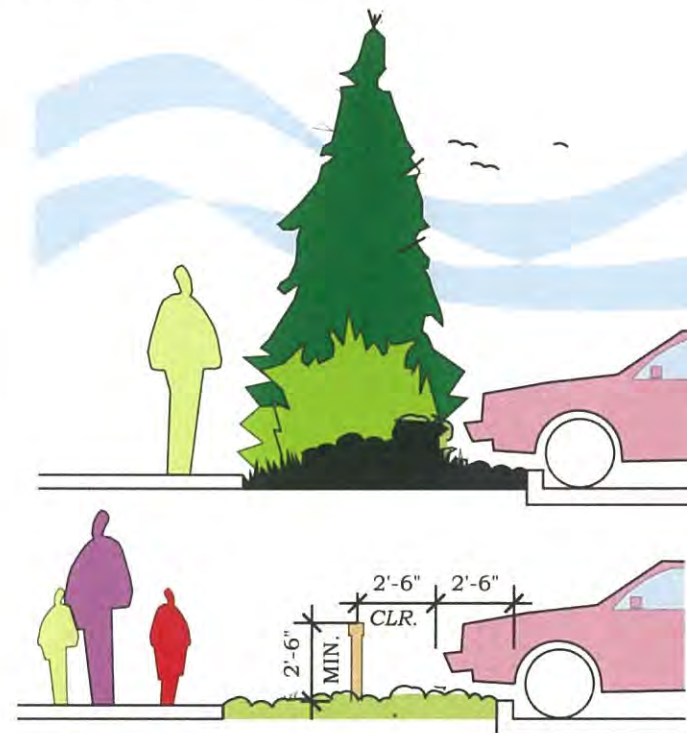
PROVIDE HANDICAP AND DIRECT ROUTES TO BUILDING ENTRANCES



PROVIDE MEANDERING SIDWALKS AT PERIMETER OF SITE.



PROVIDE LANDSCAPING BETWEEN PARKING AND BUILDINGS.



SCREEN PARKING LOTS AT PERIMETER OF SITES W/ LOW WALLS OR LANDSCAPE SCREENING.

### E.5 BICYCLE ROUTES AND BICYCLE PARKING

All developments are required to provide and identify bike routes that are functional, easy to use, pleasurable, and are sized sufficient for all users of the Villages. Bike routes are required to connect all areas of the Villages, to allow users to work and play in the same community. Bike routes are required on one side of all public arterial streets. This will interconnect the community, and future development at the Villages' perimeter. No bike paths are allowed within 200 feet of the I-25 right-of-way. Neighborhood trails must also be connected with parks, businesses, residential developments and Village amenities. Provide meandering routes away from streets that inter-mingle with interior green spaces, water features and resting areas. Each project must connect and utilize directional routes to advance the live/work/play community concept. Each development will be required to provide near-road and off-road bike paths and sidewalks as needed to maintain continuity and connection of the community regional system.

One bicycle space is required for every 30 vehicle parking spaces. Round up fractions to the nearest whole number. Bike racks must be located near major points of building entries and provided at points of interest such as water features, resting areas etc. Buildings over 100,000 G.S.F. will be allowed to reduce this requirement by 25% and buildings over 300,000 G.S.F. will be allowed a 50% reduction. Bicycle parking must be located in concrete paved areas not to exceed 2% slopes and racks must be pre-finished in a "U" style and secured to the ground.



## F. TRANSPORTATION

The Villages at Johnstown are ideally located adjacent to the heavily traveled Interstate 25 corridor. This Interstate is the most traveled corridor in the Rocky Mountain region. Other major roads and connecting routes make the Villages an ideal location. This development will encourage a well-connected community, as well as offering exceptional access and connections to the areas around them.

The Villages at Johnstown is intended as a live/work/play community. Through the cooperative effort of the developer, community residents, the Town of Johnstown, and the DRC, the Villages can strive to support a self-sufficient community. The Villages will be a community in which residents can still be within reach of other cities, the lively I-25 corridor, nearby businesses, and connecting residential communities.

### F.1 TRANSPORTATION DESIGN

All parcels and uses within The Villages at Johnstown will be united by new and future transportation systems. A network of linking transportation systems has been proposed as an integral element within the Villages. All arterial and collector streets are planned to benefit all sizes of vehicles within the Villages.

### F.2 STREETS

Arterial streets in and around the Villages must meet the Town Transportation Plan specifications and be built for the developments' initial and final phases. All roads must be designed to accommodate emergency vehicle access.

Emergency vehicles must be able to service the development freely and without obstructions. Overhead clearance for bridges must meet state and federal requirements. Canopies, roof

overhangs, servicing drive thru and Portecocheres may be lowered to 12' minimum provided no service utilities are proposed beneath them. Otherwise, they will be required to meet all code, zoning and judicial requirements.

The primary purpose of the Performance Standards is to establish and implement a "road map" for the development of a thriving community along the Interstate 25 corridor. The standards are intended to provide meaningful and flexible design solutions, and to develop the Villages as a thriving center. Architectural features play a key role in the community development.

The Performance Standards will set the guidelines for the East, West, Center and Industrial Villages.

## G. ARCHITECTURAL

### G.1 MASSING AND COMPATIBILITY

Each structure must relate to each other and be in harmony with adjacent structures. Single family development is encouraged not be similar, but to appear as individual and stand-alone structures. This will be true for custom homes, but also encouraged with tract style developments. High density housing developments must be designed to be sensitive to adjacent property, as well as provide a building scale that is in keeping with adjacent buildings and views.

Set building footprints so structures maintain preferred views for future development. Position structures in groups to create useful and functional gathering spaces. Locate site entries to maximize their solar orientation and effectiveness. Address topography and natural site conditions through the use of walkout basements, sub-terrain levels and stepped building foundations. Provide desirable design features and use forms that provide shade and shadow lines as well as introduce creative massing, a sense of dimension and building up of forms. Embrace architectural compatibility as it relates to neighboring structure setbacks, landscaping, orientation, massing, details, features, textures and color, fenestration, height, parking schemes, shapes and building materials.



### G.2 ALLOWABLE HEIGHTS

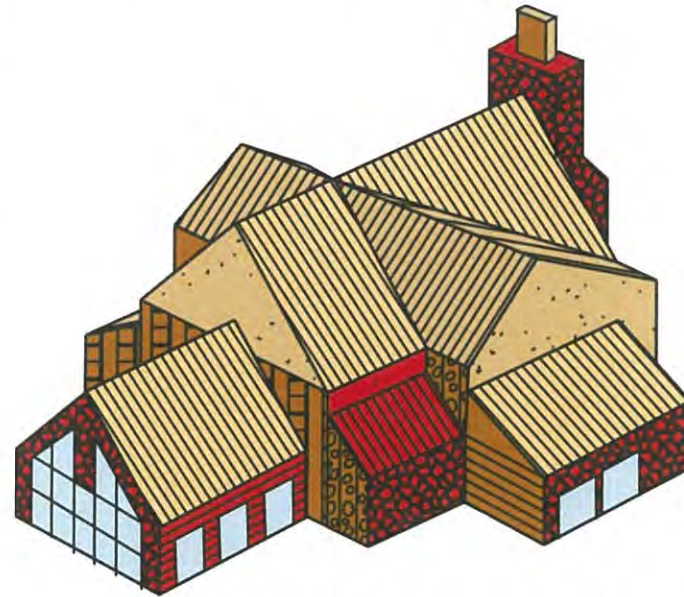
Allowable heights throughout The Villages at Johnstown vary within the development. Each building, structure or manmade element must address designs that respect and relate to the "human scale". Structures must have an "architectural order" as a stand-alone building, as well as considering adjacent sites. The Villages will encourage creativity. However, if this order is not acceptable to the DRC and JRC then a general order of "top, middle and base" or a well-defined composition and balanced solution will be required. Structures should always be grounded and have a mass to the base of a structure softened by landscaping and people spaces. Heights are anticipated to fluctuate, thus, buildings over four stories must complete shadow studies and site analysis of the impact of shading and shadow ground profiles.

Structures adjacent to open spaces may take advantage of natural sunlight and air. Buildings must make every attempt to allow un-obstructed views to the Front Range for adjacent projects. Designers must consider prevailing winds, and the impact of wind on designs. Examples include vestibule door operations, tunneling wind effects, lateral wind loads on fenestration, awnings, and roof uplifting. Buildings heights can also be impacted by topography and may necessitate walk out levels in lieu of with expensive earth retaining walls. Designs may encourage relationship, compatibility, transitioning, clustering and building up of massing as it pertains to individual or groups of buildings.

In general, use the following maximum building heights:

- High Tech Research & Development: 6 stories
- Corporate Campus: 12 stories
- Corporate Offices: 10 stories
- Professional Offices: 7 stories
- Light Manufacturing: 2 stories
- Aviation and Distribution: 2 stories
- Commercial/Retail/Hotel: 13 stories

- Multi-Family Residential 6 stories
- Transit Stations 8 stories
- Single-Family Residential 3 stories



PROVIDE BUILDINGS OF INTEREST WITH ROOF FORMS, MASSING OR A VARIETY OF BUILDING MATERIALS.



PROVIDE A VARIETY OF ROOF FORMS.

### G.3 FORMS

Fit architectural forms and selected materials to the natural topography. Buildings must be designed as a balanced composition with forms and elements compatible to the human experience of the buildings, and spaces created. Buildings must have a "sense of balance" as it pertains to form, massing, material selection, and color. Elevations with a consistent spacing of columns, punched openings, loggias, or wall elements that relate to passing vehicles and pedestrians can address scale at grade. Simple elegant detailing and designs will enhance the community and be an asset to the Town of Johnstown. Celebrate architectural elements and utilize features that lift the human experience.

The pedestrian experience near the base of the building, as well as the approach to the building, is worthy of study. Pedestrians are drawn to elements that suggest direction of the path. Assist the user in defining areas of use that relate to the pedestrian. Building mass should attempt to achieve a relationship with the human scale by transitioning down forms and providing warm colors and variations of texture. The building up of landscaping color, texture, and shapes can also make the pedestrian experience more pleasing. Use roof elements to shelter the pedestrian and automobile passengers at drop off points. Roof elements at grade level can be an excellent method to reduce scale to the human level.

If possible, provide balanced compositional facades on buildings through the expression of their structural elements. Break down large walls with relief, recessed or applied functional architectural elements. This diminishes massive facade expanses. As a general rule, massing should be reduced to increments of 40' -50' L.F. maximum (or less) both in height and width.

Provide a variety of architectural treatment in an effort to reduce large massive forms. At the lower levels introduce trellises, arches, engaged wall columns, arcades, canopies, and upscale detailing. Single story buildings over 100,000 GSF will be allowed larger wall surfaces if landscaping materials or other architectural

devices are used to soften the massing. However, avoid blank walls where ever possible. If unavoidable, place blank walls at the rear of developments, away from public views.



EXAMPLE OF RETAIL

### G.4 ROOFS

Roofs are an important design element in the coordinated appearance of the Villages. Each development must try to introduce an assortment of diverse roof forms. Parcels must also consider the vantage and viewpoints of other parcels. Views from taller surrounding buildings looking down on nearby roof forms should not see unsightly straps, rods, and kickers or false façades or fake roof elements.

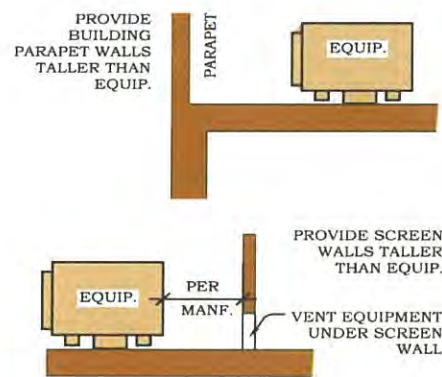
Blending of massing, pitch and direction on buildings create a "roofscape". Parapet and roof forms that are flat, without undulation or change in elevation are discouraged. A diversified mix and change of roof elevations provide relief to an otherwise plain and ordinary design. Mingle scale, line, and volume. Fuse forms to create individual characteristics to each new development. Exposed flat roofs are discouraged. If implementing flat roofs, disguise them with attached elements such as awnings, dormers, oversized parapets with curves, or step up of facades and cornices. Construction materials must be of a durable quality. Utilize natural stone roof tiles, clay tiles, and concrete tile with pre-finished standing-seam, copper, synthetic cedar shingles. Incorporate a variety roof forms and roof materials, and screen all rooftop equipment. Capitalize on roof slopes, pitch, and roof cavities to conceal rooftop equipment. Provide decorative and innovative screens to shield equipment, and match screen materials to primary building façade materials. Exploit roof forms for features that establish entry or vehicular drop-off zones. Use such roof elements for pedestrian protection from the elements interlaced with columns, arches, trellises, service protection etc. There are many roof shapes and styles to consider, such as mansard, pyramid, gabled, gambrel, arched or asymmetrical. Provide protection from the sun in play areas, public pick-up and drop-off zones, and rest areas. Architectural detailing including finials, cornices, barge boards, brackets and snow guard standards are also encouraged.

### G.5 MATERIALS AND COLORS

All materials are to be long lasting and manufactured of sound quality or enduring materials. Use complementing palettes of textures, finishes, colors and materials to meet the highest aesthetic standards. Materials must be approved by the DRC and JRC. Submittal of material boards and colored renderings will be required for all development. Warm, welcoming materials are suggested. Individual architectural design schemes are encouraged in the Village. Each proposal will be reviewed on a case-by-case basis. It's been said that there are no such thing as bad colors, only bad combinations of color. When it comes to color, preferences are intensely personal.



CREATE BUILDINGS THAT HAVE A SENSE OF HUMAN SCALE.



PROVIDE STONE, OR BRICK AT BASE OF ALL BUILDINGS

Construction material allowed:

- Brick
- Stone
- Textured concrete
- Masonry block
- Wood is appropriate only in limited details, and must be weather treated.
- Stucco with a high degree of detail is allowed above stone or brick wainscoting, and may not comprise more than 60 % of any building
- Pre-cast and site cast concrete with relief detailing is allowed provided other materials such as stone, slate, or brick are used in combination with concrete. Brick mixed with CMU masonry or stone is encouraged.
- Fabricated metal frame buildings are allowed, provided that they are "skinned" with a mixture of veneer materials listed above. Fabricated metal buildings are subject to approval by the DRC and JRC.
- High quality metal skins such as

"Alucabond" (or similar systems) as trim or special features are allowed but must be pre-approved by DRC and JRC.

Select materials that reduce glare, and do not use materials that will create "hot spots" or oil canning. No mirrors, reflective glass or snow-white colors are allowed. The Villages encourage the use of indigenous materials such as natural stone or masonry materials on the base. Materials can be used as a wainscoting to the buildings to architecturally anchor them to the ground, and prevent unsightly splash up of rain and moisture. Maximize the use of low or no maintenance building materials. Select materials that will stand the test of time.

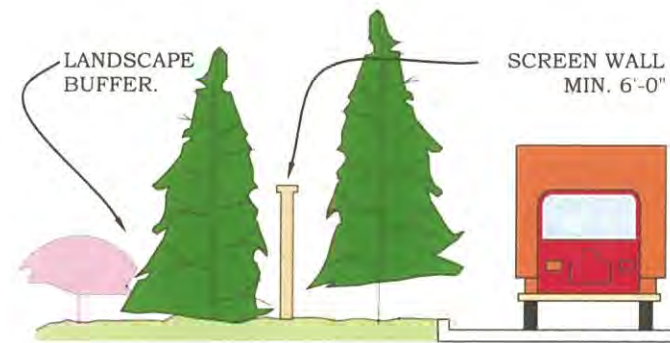
Color is encouraged in the Villages but must be tastefully interspersed into projects. DRC and JRC approval must be given to proceed from the preliminary phase, and a colored rendering will be required to present "color proposals". Innovation and creative designs are encouraged. Subdued or muted colors are more acceptable to the public. Warm palettes with indigenous materials are recommended.

### G.6 ENTRANCES

Entry must be visually identified for visitors. Primary elements or points of entry are encouraged to stand out, and be enhanced with architectural features. Entrances must be visible to users from streets, approaching drive lanes and pedestrian paths. For commercial developments, entrances are suggested to be protected with "cover" and be designed with an air lock or vestibules. Identifying entry with signage, roof forms or architectural expression aids the user.

## G.7 SERVICE AREAS

Truck courts, loading, outside storage and all service areas must be screened from public view. Screening may be made of structurally designed screen walls, landscaping, or building configurations. Locate service and trash pickup areas near service roads and minimize service interface with the public, pedestrians, parking areas and drive lanes. Screen walls must be softened by landscaping buffer zones and plant materials that will reduce the visual impact of these walls. Minimize the impact of service areas with neighboring buildings and views from these buildings into the service area.



SERVICE AND TRASH ENCLOSURES MUST HAVE SCREEN WALLS WITH LANDSCAPING.

When using landscaping for visual buffers, provide the correct density and layering of planting materials to adequately screen desired areas. Consider plant material performances, seasonal uses, and life expectancy to ensure screening effectiveness.

## G.8 CONSERVATION

All new development must try to conserve energy and resources to be sustainable. Creating designs with passive and/or active solar designs is intelligent design. Employ site orientation, natural site factors and microclimate analysis for all development. These collective influences will maximize the use of solar gain for energy savings. Environmentally sound design will benefit all areas of The Villages at Johnstown.

Possible concepts to be considered shall include, but are not limited to the following:

- Solar orientation
- Natural sunlight and day lighting
- Energy conservation
- Water conservation
- Passive design solutions
- Active design solutions
- Sun shading devices
- Microclimate factors
- Sustainable building materials
- Natural materials
- Recycled materials
- Building insulation
- Natural ventilation and smart technology
- Airtight building skins
- Glass shading coefficient
- Energy saving and smart technologies
- Grey water systems

# H. LANDSCAPING

## H.1 GENERAL

The Villages at Johnstown will implement consistent plant material and landscape themes. Commercial, single family residential and larger, multi-parcel projects must use harmonious landscaping. Landscape design is crucial for creating a consistent, high-quality community. A unified landscape plan creates a cohesive design development and creates a pleasant experience within the boundaries of the Villages. While unity is encouraged, individuality can still be utilized. Individual landscape treatments for sites must complement adjacent sites, streetscapes and encourage distinctive settings.

The minimum landscape area required within each building site is 20%. Landscaping must always be in compliance with landscaping standards and specifications available from Johnstown.

Landscaping must be included for all new commercial and residential developments. Landscaping is required to:

- Enhance the Villages
- Define spaces, paths and provide separation
- Provide color and foliage
- Visually "soften" parking lots
- Improve the pedestrian experience
- Provide "green screens"
- Provide scale and massing
- Beautify "hardscapes"
- Reduce heat and provide shade

For all plant material designs, incorporate low water usage and conservation measures. Include indigenous and low water consumption plant materials.



CREATE ENTRY PLAZAS WITH LANDSCAPING

## H.2 LANDSCAPING STREETSCAPES

Streets within The Villages at Johnstown shall be accompanied with landscaped boundaries. These integrated green zones should be used at collector and arterial streets, intersections, monument signs, ground mounted signs, entries, and parks. Plant species, grouping, spacing, and height similarity must be a common theme in the Villages. Open space, parks and amenities should be landscaped as visual amenities, and are an integral part of the overall Villages concept. A variety of smaller landscape themes can be used to express individuality, but caution should be taken to ensure that these themes do not overshadow the continuity of the community. Grading and material selection must perform together to create a varied landscape experience.

Streets should have trees planted in compliance with Johnstown landscape standards. All medians should be planted with trees and flowering perennials consisting of low shrubs, grasses and ground cover. Streets and

roadways must have a flowering plan that is in harmony with the Villages theme.

Detached and meandering sidewalks will be the standard throughout the Villages. Sidewalks are required to link every building, park, amenity and feature. In addition to trees, provide a variety of flowerbeds, perennials, mulch, rockscapes, ground cover and grasses.

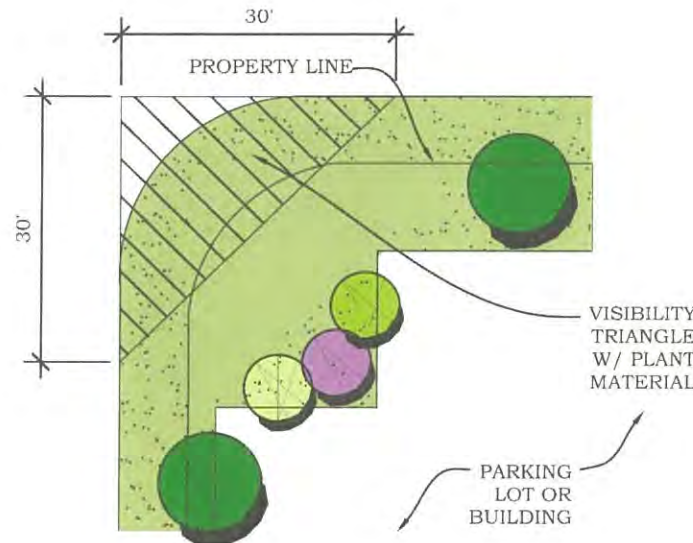
Attached walks are discouraged. They are only allowed at transitions between streets, pedestrian crosswalks and/or attached to plazas or entries to buildings.

Sidewalks near streets must embrace a combination of manicured and natural landscape beds. At primary entrances, signed medians and signed curb cuts, place a manicured flowering bed that enhances signage without blocking sign text or creating hazardous conditions. Landscaping should be low to the earth and not exceed 30" in height. Landscaping should frame and assist with the focus for signed elements.

At primary entries, designers are encouraged to provide an abundant level of plant materials, providing color and texture throughout the year. Provide a "building up or structured massing" of landscape forms low to high, or a balanced assortment of plant material which enhances the experience of pedestrians. Provide landscaped areas at entries, and at ground mounted signage. Landscape along the peripheral edge and bend with adjacent sites. Install a minimum of four types (or categories) of landscaping materials. Integrate the plant design with the entry sign and pedestrian path. Plantings should frame or provide a visual base for the signs and path. Sight triangles are necessary at every corner. Low plantings in the site triangle are required. Along private streets sight triangles are required at a min of 30'; at major or public streets site triangles are required to be 50'.

Sight lines must be unobstructed with low, mature plant materials no higher than 30", or provide trees with canopies that begin at 8' above roadway paving.

Sidewalks are required to be 10' wide and 6" deep of reinforced concrete at all arterial streets. Most other sidewalks will be required to be 5' to 8 feet wide, and no sidewalk will be allowed less than five feet wide.



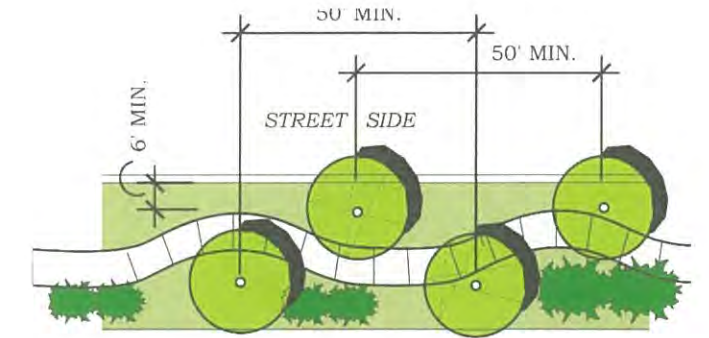
PAVING AREAS LOWER THAN PERIPHERAL ROADWAYS.



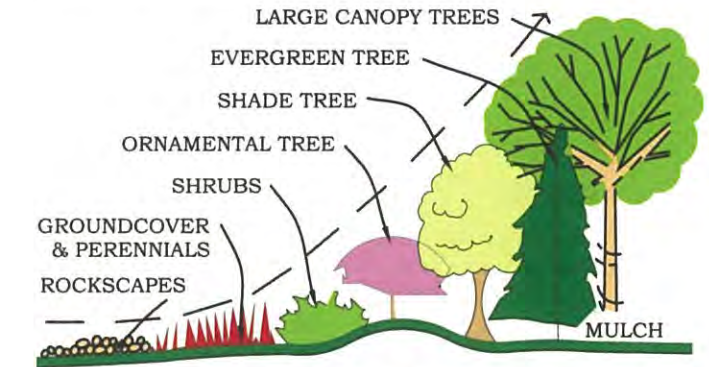
EXAMPLE OF STONE RETAINING WALL.



INVERTED 'U' STYLE BIKE RACK USED FOR VARIOUS BIKE TYPES AND SIZES.



TYPICAL TREE SPACING ALONG STREETS



UTILIZE AN ASSORTMENT OF PLANT MATERIALS AND A "BUILDING UP" OF PLANT MATERIALS. SHOWN ARE TYPES OR "CATEGORIES" OF LANDSCAPING.

**H.3 PARKING LOT LANDSCAPING**

Disperse landscaping in parking lots to break up the "sea of pavement" appearance. This will also provide welcome shade. This landscaping will also break up the massing that parking areas ultimately create. Properly landscaped, parking lots can help reduce heat and provide visually serenity. The parking at The Villages at Johnstown must be designed and orchestrated to have a sense of continuity from one parcel to the next.

Where possible, provide landscape berms at perimeter streets vs. parking lots. If not possible, provide low screen walls or "screen walls of landscaping". All developments are required to screen parked vehicles from public view. Developments should encourage views of the architectural elements, in lieu of parked vehicles. If grading permits, place interior paved areas lower than peripheral roadways.

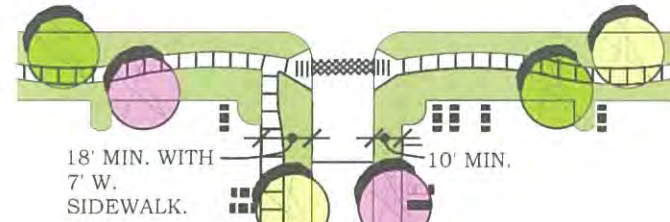
Rows of parking may not exceed 15 spaces. Each 15 spaces require a minimum of one tree. The trees must be in landscaped islands with curb and gutter not part of the perimeter zone. Each island is to be planted with an additional six low shrubs along with ground cover. Wherever 15 spaces face each other (in parallel) the island must double the formula for planted materials and must be a minimum of 10' W. x 36' L. Also utilize these islands with raised sidewalks with pedestrian connections. Islands are required to be 10' wide and in the event, sidewalks are located within a landscape island; they will be required to be 18' wide. Utilize landscaped islands and medians to improve pedestrian circulation, shading and break up constant rows of parking.

Incorporate 5' minimum wide sidewalks in strip islands with planting bed, ground cover and sod on each side of walk. For shared drive lanes, curb cuts and shared points of access provide a minimum of a 9' wide landscape zone without sidewalk, and 12' - 18' with sidewalk.

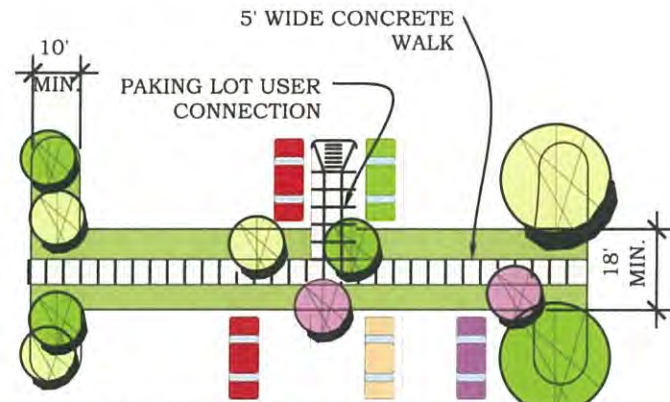
Landscape berms and medians that interface with car overhangs must utilize plant materials that will not mature above 6" high. Sidewalks that are integral with curb and gutter are required to be a minimum of 7' W. Plant blooming species with changing color adjacent to pedestrian walkways. Where medians do not have sidewalks, the medians may be reduced to 10' W. with sidewalk, medians are required to be 18' W. Wherever possible landscape slopes between parking and on adjacent hillside must not to exceed 3:1.



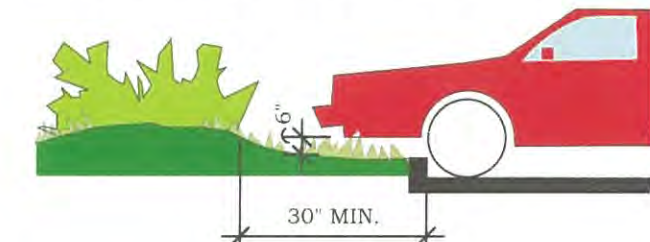
LANDSCAPE BETWEEN ALL DISSIMILAR USES.



LANDSCAPE BUFFERS AT CURB CUTS



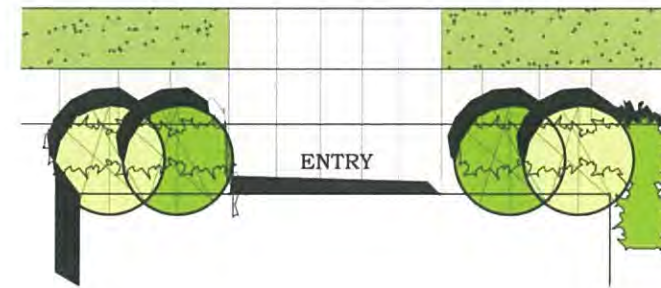
PROVIDE PEDESTRIAN PATHS THROUGH PARKING LOTS. LANDSCAPE EACH SIDE OF SIDEWALKS AND PROVIDE AUTOMOBILE USER CONNECTION TO 5' W. SIDEWALK.



LOCATE PLANT MATERIAL WHICH GROWS 6" OR HIGHER 30" BACK FROM CURB TO PROTECT LANDSCAPING FROM VEHICLE DAMAGE.



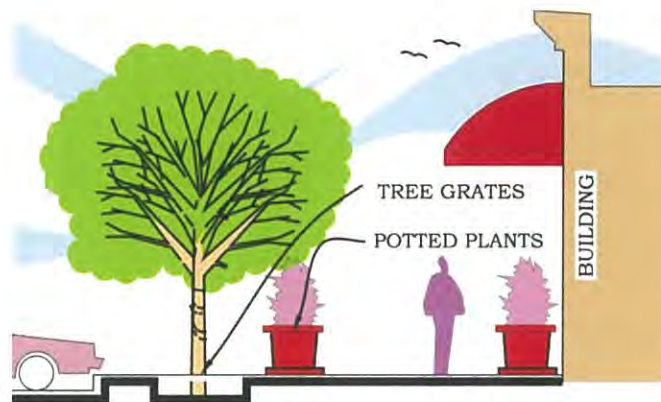
EXAMPLE OF AN INDUSTRIAL BUILDING



PROVIDE LANDSCAPING BETWEEN BUILDINGS AND SIDEWALKS AS MUCH AS POSSIBLE



USE SCREEN WALLS, RAISED PLANTERS OR OTHER DEVICES TO PROTECT LANDSCAPING FROM PEDESTRIANS AND AUTOMOBILES.



IN HARDSCAPES ADJACENT TO BUILDINGS USE TREE GRATES AND POTTED PLANTS

**H.4 LANDSCAPING TRANSITIONS**

Landscape "zones" between dissimilar uses and "visual landscape buffers" between similar uses are necessary buffers for the Villages. Compatible plant material can accomplish visual transitions.

This applies to landscaping between dissimilar uses, including any change in occupancy, use, or zoning between buildings or parcels.

(Example would be a retail building abutting an office building or industrial building abutting an office building, etc.) In these cases, between buildings (doesn't include parking lots) provide a minimum of a 30' wide planting strip incorporating a 3' high berm containing a minimum of 1 tree for every 20 lineal feet of property line or a 3' high landscape screen that will retain winter color and incorporate a dense mixture of deciduous and evergreen shrubs. Another option would be to provide a 6' high fence in combination with landscape. Interface stone or brick columns at 100' O.C. Column materials should match the architectural elements in nearby buildings and 40% of the fence must be covered in front with landscape. Fences cannot exceed 50% of the cumulative length of a parcel's boundary.

For landscaping between similar uses, provide a minimum 15' wide "zone" containing 1 tree for every 30 lineal feet of property line and a landscaping screen hedge that includes a combination of evergreens and deciduous materials an average of 3' high.

**H.5 LANDSCAPE WATER CONSERVATION**

All landscaping designs should attempt to conserve water. Landscaped zones operating irrigation methods must take advantage of water conservation techniques by implementing low water management, sensors, selective plant species, and non-potable irrigation water systems.

Landscape architects should design planting strategies to minimize irrigation demands. Group analogous mixtures of low-water indigenous and native materials away from primary entries, and heavily used pedestrian areas. Species must be disease and drought resistant. Integrate mulched zones and beds of plant materials which limit excessive moisture loss. Prepare soil and planting beds to improve water absorption and to safeguard against moisture depletion.

### H.6 LANDSCAPE STANDARDS

Mass or align plant species for visual interest. Planning schemes should accessorize, balance and complete a development.

Landscape development within The Villages at Johnstown should fall into one of the following zones:

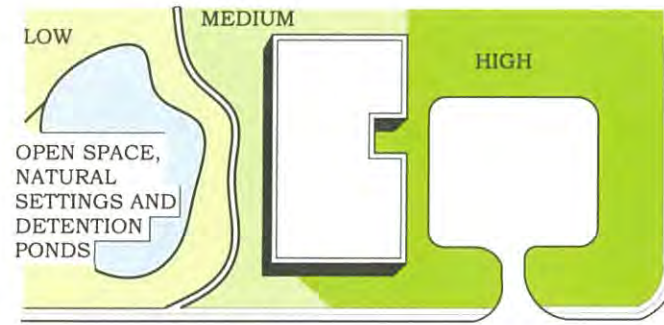
**Zone One:** Located at primary pedestrian plazas, walks, entry, sitting areas and primary vehicle access points. This zone may require a high degree of maintenance. Use decorative schemes with an assortment of species and variety of materials, including perennials and annuals with a maintenance program.

**Zone Two:** Located at perimeter of property along streets, drive lanes and secondary entries. This zone will require less maintenance and less familiar plant materials.

**Zone Three:** This area is located in susceptible areas near waterways, ponds and open natural settings. Typically, these will be open fields, meadows, wetlands, foot trails and undisturbed areas. Deliberate attention must be taken in plant selection and materials for these areas. Select species of plants which endure seasonal changes, and provide diversity. Carefully place plants in visible areas to maximize interest and/or to alleviate erosion. Include a variety of wood and rock mulched to minimize erosion.

### H.7 MAINTENANCE

All owners, developers, and landlords are responsible for maintenance year-round. All landscaping must be vibrant, hearty, vigorous and in healthy condition. Plant materials which have died must be immediately replaced with equal or higher quality, and must be of similar scale and quantity.



LANDSCAPING ZONES.



REPLACE DEAD LANDSCAPING AS SOON AS POSSIBLE.

### H.8 FENCES AND SCREENING

Screen walls, trash enclosures and fencing must be built of similar materials, matching the architectural materials of the adjacent buildings. These walls should also be softened with a combination of landscaping and landscape screening.

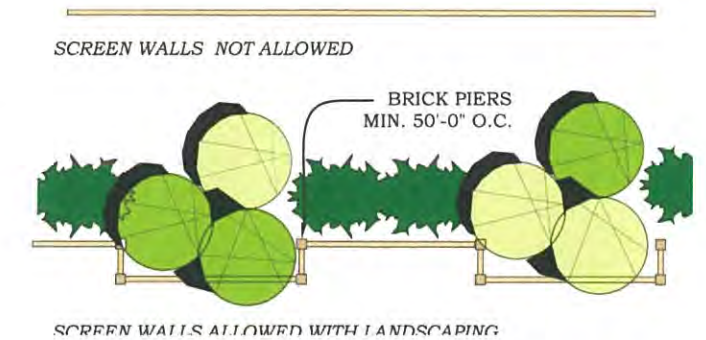
Earth retaining walls should be limited in height as much as possible. All zoning and building codes will be in effect for earth retaining wall systems or engineered walls. Avoid walls adjacent to pedestrian walks or drive lanes as much as possible. If unavoidable, provide handrails, guardrails and safety zones. Stagger small retaining walls in lieu of one massive wall.

Provide landscaping along retaining walls, fences, screens and enclosures. Enhance these walls with “green zones” of plant material. Undulate walls and create pockets of landscaping. Offset walls and create wells of landscaping materials and create a pocket series of beds to provide a progression, succession and rhythm with the wall and landscaping features. Include architectural elements using columns, cornices, caps and inserts in walls for added architectural interest. Walls should be finished on all sides with durable and aesthetically pleasing materials. Brick and stone are encouraged and a combination of iron and steel decorative fencing can be considered.

Screen walls for trash, electrical transformers, or walls that screen electrical panels must be opaque. Landscaping is required at these walls but to a lesser degree. Wood, diamond-link and chain fences are not acceptable screening materials. All metals must be coated or finished at the factory.

All types of walls must be an integral design element with the architectural palette. Interface buildings, wall and topography to create visual interest and well thought out designs.

Design walls to appropriate heights for the task. Example screening large service trucks (semi-tractor trailers) will require taller walls. Electrical transformers come in varieties of sizes and must be screened accordingly. All fencing and screen wall will be reviewed and must be approved by the DRC and JRC.



EXAMPLE OF TRASH ENCLOSURE WITH BOLLARD PROTECTION.

# I. LIGHTING

Site lighting must be incorporated for all commercial and residential parcels. Metal halide fixtures are the accepted type of light source for The Villages at Johnstown. Lighting must be provided for the security and safety of all users, and is subject to approval by the DRC and JRC. Lighting provided for a particular site is not allowed to “spill” beyond the limits of its boundaries, and “blackout style” fixtures are required.

## I.1 LIGHTING FIXTURES

All lighting fixtures, standards, and bollard lighting must be of the same “pedigree” of fixtures. They should match in color, style and aesthetics and be compatible throughout the Villages. Consult the Town for footcandle requirements and provide a safe lighting environment for all users. DO NOT allow offsite lighting spills and/or glare to adjacent properties. Provide solutions that enhance pedestrian lighting. Site lighting should be provided at the minimum level (per Town Standards) to the degree which illuminates traffic movement zones and parking areas. Photometrics will be required with all submittals to the DRC and JRC.

Select standards and fixtures that are architecturally compatible with adjacent properties and architectural styles. It is important to illuminate all high traffic zones where vehicles and pedestrians interface, as well as curb cuts and entries. Use cutoff style fixtures which are adjustable and shield light pollution.

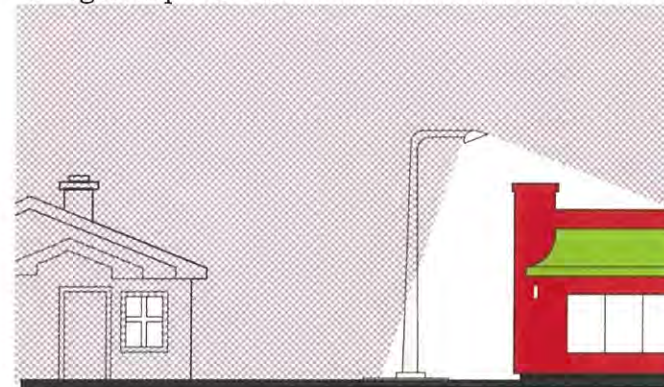
Lighting should be considered for safety first and illuminate sites without “over lighting” an area. Lights should also be placed on photo cells with a manually adjusted timer switch for all exterior light fixtures.

Poles and fixture heads should be architecturally enhancing, and compatible

within a development. Architectural lighting is allowed on buildings and may be allowed to cast upward and downward to create a “soft wash” lighting feature. However, these soft wash areas are not allowed to be overly bright and disturb adjacent properties. In no case will they be allowed adjacent to single family housing.

## I.2 DECORATIVE LIGHTING

Accent lighting and architectural lighting such as wall sconces, exterior torchieres, bollard lighting, ground lighting, in wall, stair riser light fixtures and other special lighting that accentuates building functions are acceptable in the Villages. These are allowed in the Villages provided that they are designed as a feature or to light an amenity, building or provide a concept that enhances the overall Villages experience.



PROVIDE PHOTOMETRICS FOR EACH NEW COMMERCIAL DEVELOPMENT. DO NOT ALLOW LIGHT TO “SPILL” OUTSIDE OF PROPERTY LINES.

Such lighting is allowed provided that it augments architectural or landscape features. Example would be a landscape bench sitting area, up lighting on landscaping features, spot lighting on entry facades, pedestrian plazas, specialty signage, art and other architecturally or site-specific elements of interest.

## I.3 PARKING LOT, PEDESTRIAN, LANDSCAPE LIGHTING

Parking lot light fixtures should be located in areas that shall not be a hazard to vehicle parking, and provide the necessary clearances for pedestrian traffic. At perimeter areas

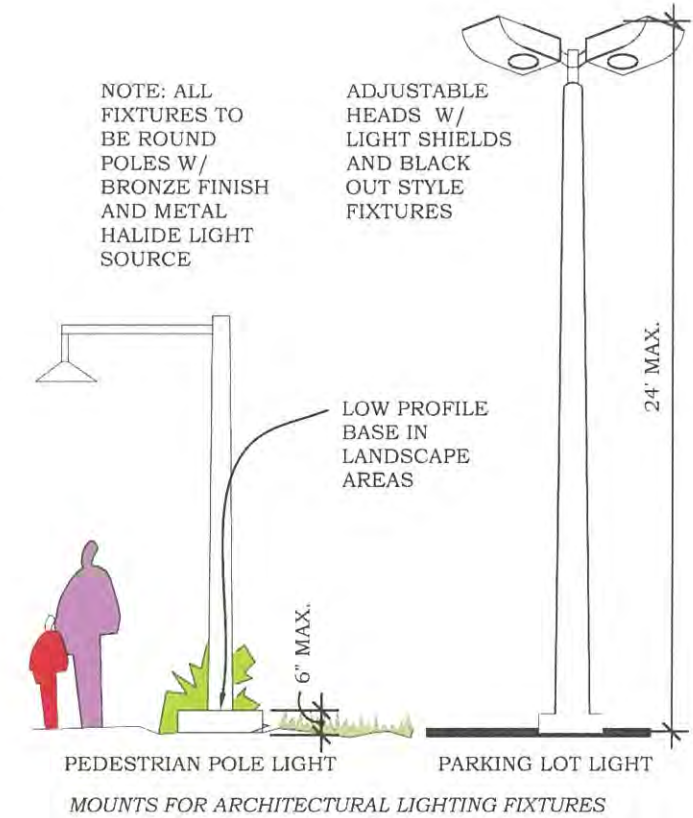
locate light a minimum of 3’ deep into landscape zones thus preventing the nosing (overhang) of vehicles striking them. Locate light poles in parking lots at the “quadrant point at paint line intersections” (at the intersection of four stalls) to create as much clearance as possible for vehicles pulling into the parking space. Standards shall be unassuming as much as possible. Fixtures not call attention to themselves. They must be positioned in locations to prevent damage to vehicles, and provide lighting for security and safety. All light sources are to be metal halide with uniform distribution of light levels.

Path lighting must be selected for the pedestrians, typically 4’ to 16’ H. In all cases select the appropriate footcandle to ensure a safe means of access. Use path lighting techniques for such areas as stairs, bike racks, railings, sloped walkways, site amenities, etc.

Implement lighted pedestrian bollards along path, pick-up zones and entrances. In all cases provide safety lighting at pedestrian-to-vehicle intersections.

Lighting may feature plantings, building elements, fountains and other amenity features by a number of lighting techniques and provide for a dramatic “after hour” concept.

Electrical engineers must take into consideration lighting for seasonal cycles of plant materials. Designers must consider lighting conditions as they relate to plant sizes at installation including sequence and finally the mature size of the plant to achieve the most desirable lighting outcome. For landscaping areas only, concealed fixtures or black out style lighting is allowed. Provide lighting in ground vaults, buried in rock beds or screened by rock or plant formations. Control glare, and avoid damaging hot spots on live materials. Use only lights that are less susceptible to vandalism and require little maintenance. Lighting fixtures must be of high quality and impact resistant.



Public street lighting must adhere to the Town of Johnstown design standards. Location of lights must be positioned to maximize public safety and be a decorative “breakaway” davit style pole/ shaft assembly and are subject to DRC and JRC approval.



USE LIGHT BOLLARDS AT PEDESTRIAN ROUTES.



# J. SIGNAGE

Signs are a vital component of any development and The Villages at Johnstown understands the importance of signage to owners and visitors. Signs must play an integral part of the Villages community. Signs should contribute to the visual correlation within the entire area. They must also be properly landscaped and lighted. All projects are required to include a signage program that includes project identification at each vehicular entry as well as address mounted signage, building mounted signage, handicap signage and tenant signage. All signs should take into consideration materials, shapes and size, illumination, style and font typeface, structure and compatibility.

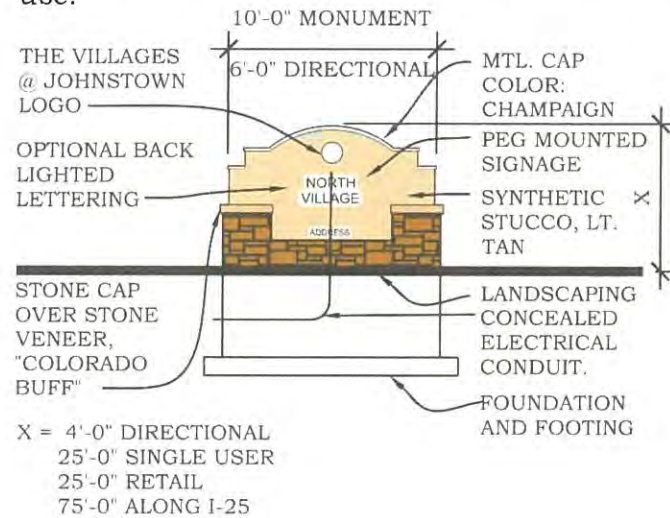
All signage selections for The Villages at Johnstown are required to be submitted to the DRC and JRC, and must meet signage codes for the Town of Johnstown. The most restrictive of interpretations shall govern.

## J.1 MATERIALS

Signs shall be fabricated to be sturdy, self-supporting and able to withstand wind loads. Electrical transformers, switches and conduit must not be visible. Signs must be reflective of the architectural signature consistent with the development. All signs at points of entry and street curb cuts must follow the prototype sign (shown to the right). This sign consists of stone base with light tan stucco field and champagne cap. Specification can be obtained by the DRC. The "Villages @ Johnstown" logo must be on all projects with the exception of the individual single-family residence. The logo can be found on the cover page of this Performance Standard in the lower right-hand corner.

## J.2 SHAPES AND SIZES

The size of signage at street fronts and major access points (curb cut) allows a variety of heights, depending on use of land or type of fonts utilized. All parcels are allowed a minimum of a 10' high sign which has a 10' setback. Monuments signs are allowed to increase 1' in height for every additional 1' in setback. Thus, a sign 15' high has a 15' setback requirement. This formula determining sign heights may be used, however, there are maximum heights allowed by the Town. Please check your signage codes to determine allowable heights for your specific use.



Sign must be consistent in design concept and style, however, height and width may be varied to meet the particular needs and objectives of the end user. It is encouraged that the style, general shape and concepts be carried throughout the applicant's signage program.



SIGNS WITH ALL STONE BASES ONLY ARE ALLOWED.



EXAMPLE OF RETAIL SIGNAGE

The following conditions shall apply to signage within The Villages at Johnstown: users/tenants are allowed a minimum of one sign per street side. Directional signs are allowed to help direct, and provide useful information to end users. Each sign must have the "The Villages at Johnstown" Logo. In addition to the logo, text area shall not exceed 50 square feet per side (100 square feet per sign). This excludes address numbers which are to be located at the bottom of the sign, 4" above the stone base, centered, 6" high and champagne colored.

The allowable area for signage on a commercial building shall be computed by the Town of Johnstown signage codes.

Corner signs are limited to 1 per building elevation per user/tenant. The maximum number of flush-mounted signs allowed for each freestanding building is to be determined by frontage. Each tenant is allowed a minimum of 200 square feet.

For multi-tenant retail buildings, if a tenant requires signage on a monument sign then this area will be deducted from the allowable signage allowed by code. Example: tenant has determined they are allowed 200 square feet in signage. They then elect to have 40 square feet placed on a multi-tenant monument, and use the remaining 160 square feet for individual surface mounted lettering on an electrical signage rail in the allowable sign band facade.

In all cases sign codes and building codes must be met, and no exposed transformers or conduit is permitted. The designer must use simple and readable fonts. Logo signage is allowed, as well as corporate artwork. Displays must be clearly readable from a distance, and unobtrusive to others. Signage can be an interesting element in design, and augment the users, experience in the Villages.

No roof signs will be permitted. Street signs and pole mounted signs are subject to DRC and JRC review and approvals.

### J.3 LOCATION

All monument signs have a 10'-0" minimum setback from property lines and must not be in the sight visibility triangle. The same visibility triangle requirements apply to private curb cuts along public streets. Signage must not be located in these sight triangles, but are encouraged to be located as near as possible. Each sign must be easily discernable by moving traffic, as well as pedestrians, from across the street or approaching a building on foot or bicycle. Location plays a key role in communicating to the public, and signage locations must be utilized to maximize the legibility of each sign.

Monument signs must also be accompanied by surrounding landscaping, including annuals mixed in with perennials with episodic bloom.

### J.4 ILLUMINATION

The use of individually peg mounted letters and numbers mounted 1" clear of the sign surface is encouraged. Use ground vault light sources directed at the sign surface or conceal the light source from pedestrians' and motorists' line of sight. Avoid light pollution and light spill outside of signage pedestals.

Flashing signs are not permitted under any circumstances. However, signs may change on a 30-minute cycle for retail signs only.

Back lit signs are allowed. Lettering must be individual script, and boxes must match pedestal field materials texture and color. Example: if the monument pedestal field is stucco beige, and a user wishes to use an aluminum box with cut out lettering, back lit, this is allowed with the exception that the box must be flush mounted in the pedestal and finished in the same stucco tan color and texture. All illumination transformers and conduit must be concealed within the box, underground in a waterproof vault or remotely located inside a building.

### J.5 TYPES

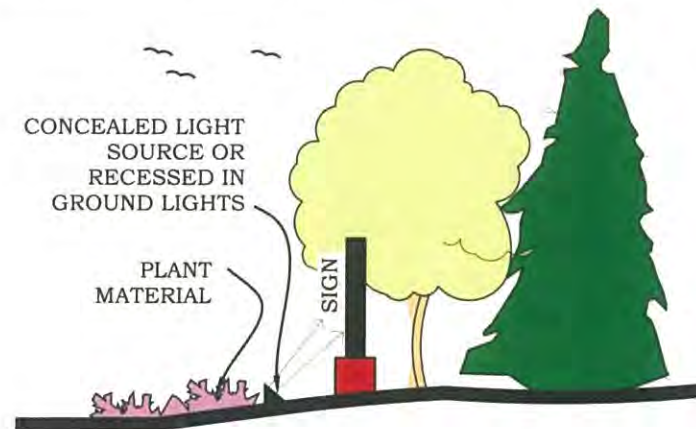
The Villages at Johnstown must have a consistent, approved signage program throughout the development. In general, designs

of signs shall be of similar, compatible materials that reinforce the design and style of the Villages.

The following signs, styles and types can be considered:

- Monument Signs:

These signs must be positioned along the primary roadway leading to a development. Monument signs are also required in center islands, at major points of vehicular entry, and in center landscaped islands serving residential neighborhoods. The monument sign's purpose is to display tenant name(s) and address. Miscellaneous directional signs less than 24 S.F. may be located on sites to provide single user business names and addresses. This is in lieu of monument scale signs.



ALL LIGHTS MUST BE SCREENED FROM VIEW WITH LANDSCAPING, ROCKSCAPES OR RECESSED IN THE GROUND. NO VISIBLE LIGHT SOURCES OR TRANSFORMERS ARE ALLOWED.

Signs may contain logo or "corporation scripted lettering". Multi-tenant buildings or complexes of several buildings may contain removable signage panels for individual users. For multiple tenant buildings such as retail centers, strip malls, flex offices, or multi-story, multi-tenant buildings, signage space on a shared monument sign can be utilized. All signs must be submitted to the DRC and JRC for approval, and the Town for review, approval and permit. All monument signs must use individual letters and/or numbers.

- Flush Wall Mounted Signs:

Flush mounted signs on buildings are allowed provided they do not extend more than 7" from a building face or signage band. They must be low profile, and integral with building facade. All flush mounted signs are suggested to use individual lettering. Signs allow corporate logos, colors and corporate fonts. If corporate art uses script then script is allowed. However, in the event this is not the case then all letters shall be of individual characters.

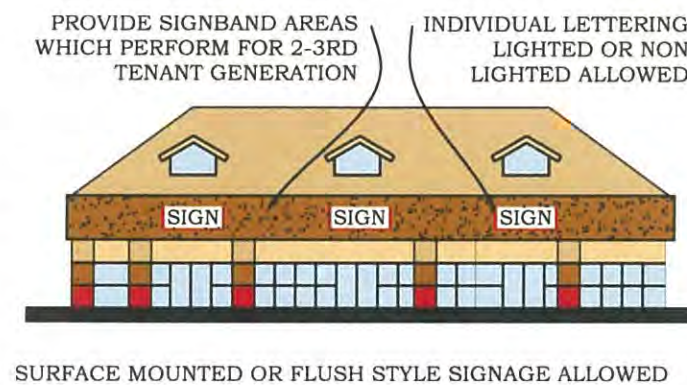
Flush mounted signs are allowed for retail, industrial and commercial use. Typically, these signs are located at grade levels for retail buildings, but are also allowed higher for multi-story mixed use or office buildings.

- Projecting Signs:

Signs may project from a building provided they are a minimum of 12 feet above the finished grade, floor, or slab below them. Signs may not be more than 8 S.F. on any side or extend beyond a surface more than 6 feet. All projected signs must meet ADA.

- Flashing Signs:

Flashing or kinetic signs are generally not allowed. However, the DRC and JRC may upon individual submittal approve of such a sign provided that they do not affect the safety of passing motorist. Signs are allowed with changing displays provide that the interval of change is 30 minutes or more.



- Surface Mounted Signs:

Surface mounted signs on buildings are allowed provided they are securely fastened to substrate. These are typically for address signs, and in some cases used in a sign band application. It is recommended that the letters be a minimum of 1" deep and contract on substrate surfaces.

- Miscellaneous Signs:

Some miscellaneous signs on buildings are allowed while others are not. For example, vinyl signs adhered to interior glass surfaces are allowed for suite address and identification. Signage to identifying service doors and dock doors are allowed for directional information. These signs must be limited in scale without calling too much attention.

Color wash, or paints applied to windows, is not allowed. However, gold gilded lettering with addresses or names can be used, provided they do not exceed 8" in height.

- Pole Mounted Signs:

Pole mounted signs may be utilized for handicap parking, reserved parking, motorcycle parking, visitor parking, directional, and height restriction signage.



EXAMPLE OF PEG MOUNTED SIGN - PEG MOUNTED SIGNS ARE ENCOURAGED.

## K. FURNISHINGS

Site furnishings are encouraged with all public and private projects. Furnishings should be an attractive component within the development, and are subject to DRC and JRC approval. It is essential that all furnishing be similar in style and color. For this reason, all furnishings are to be pre-finished heather green unless otherwise approved by the DRC. Furnishings are suggested to be factory finished, not painted in the field. This requirement will be enforced throughout The Villages at Johnstown, in both commercial developments and residential public areas.

### K.1 FURNISHINGS

Install benches that are visually attractive and comfortable to sit in. Outdoor seating should be available in rest areas, plazas, bus stops, areas of interest, or in areas that capture views. They may also be considered at building entries and pick up zones under Porte-cocheres or protected zones. Locate furniture in shady areas protected from the sun and out of areas that may freeze and become icy. Allow for a variety of arrangements and sizes. Design planters that allow seating areas that match the architectural building finishes.

Trash and miscellaneous receptacles must also match standard furnishings within the development. Select matching styles, finishes, textures and materials.

Utilize tree grates in areas where other landscaping designs are difficult to implement. This is a great way to "green up" large areas of concrete, plazas, sidewalks and expanses of paved areas. Trees will add welcome shade. Landscape designers must consider canopy sizes at maturity, and not over-size or under-size

trees for a particular application. Grates must also be traffic rated for paths used by maintenance or service vehicles.

Trash enclosures must contain metal dumpster bins with lids located near service entries. Protect enclosures with steel bollards filled with concrete, and paint a "safety color". Place concrete slabs in all enclosures. Consult your geotechnical engineer and structural engineer for proper slab design. Always extend the concrete slab to support trash truck point and turning loads anticipated in these areas. Trash enclosures adjacent to non-paved areas should include plant material to aid in screening trash enclosures from view.

Small pedestrian trash receptacles are allowed provided that they are in keeping with the seating, benches and light bollards style etc. They must be secured in place, and a trash service program must be in place for daily trash pickup.

Bike racks must be "U" style which can accommodate several sizes and types of bicycles. They must be located to encourage use and ease of accessibility. Position them in activity areas within The Villages at Johnstown. Locate racks adjacent to primary entries, and allow ample space for dismount and passage around parked bikes.

### K.2 MISCELLANOUS FURNISHINGS

Select furnishings which complement each other.

## L. ENVIRONMENTAL

There are many people and types of uses in The Villages at Johnstown. The Villages have all the ingredients for stimulating economic growth in a self-sufficient community. The setting is ideal, overlooking the Rocky Mountains. Protecting the new development, its land and resources is an ongoing process. The key to the ongoing stability and quality of The Villages at Johnstown area must be shared by all.

Each newly developed parcel should practice environmentally friendly practices. Respecting the environment, smart material selections, and respecting the natural surroundings will achieve an enduring value for all. The Villages at Johnstown encourages sensible and environmentally conscious growth. Utilize and implement environmentally friendly programs, sustainable construction, energy conservation, and other "green" solutions. The Villages at Johnstown encourages environmentally sound designs that will demonstrate a forward-thinking community.

All applicants are encouraged to submit an environmental plan for each development. Conservation of resources such as low water shower faucet heads and water closets help conserve water resources. Selecting recycled building materials, and taking advantage of solar orientation are additional examples. Environmentally sound programs by all new applicants will be required to satisfy the DRC and JRC.

Efficient systems such as computer operated/guided energy controls, recycled ceiling and flooring products, smart technologies and local materials are great ideas that can easily be incorporated. Applicants, developers and owners in The Villages at Johnstown will be expected to "make a difference" in managing sustainable design concepts. Many systems and programs on the market today are cost efficient and may save upfront investments or long run operating cost.



EXAMPLE OF TYPICAL EXTERIOR BENCH FURNITURE

# M. CONSTRUCTION

Construction and phasing of new work in The Villages at Johnstown requires essential planning and execution. The development is vast in scale and ongoing construction and maintenance will impact the community. Strategic planning and properly enacted construction methods are critical. All projects will be required to implement methods of construction that will minimize the impact on the community. Owners will be responsible for ongoing operation, maintenance, and services that will minimize any inconvenience to surrounding parcels. Each development will be required to meet with the DRC to review construction procedures from project start to finish.

## M.1 CONSTRUCTION STAGING

New and ongoing construction teams must implement strategies to guard against improper methods of construction. Adjacent owners must be notified of short or long-term inconveniences during construction. It is mandatory that any parcel under construction will prepare and have accessible a "Construction Phasing Plan". This plan must outline the schedule of trade services, staging areas, erosion control methods, fire protection, emergency vehicular access, site services, vehicle delivery zones, parking controls, and general construction time frame.

## M.2 TEMPORARY FACILITIES

The Villages at Johnstown will not allow temporary facilities other than temporary construction trailers and temporary sales offices. Each must obtain permits from the Town including temporary water, power and communication services. The Construction Phasing Plan must also include the placing and removal of temporary structures, construction trailers, signage, utilities, and schedule the repair, patching or landscaping of the temporary facilities.

## M.3 MAINTENANCE

Ongoing maintenance, operations, and site services are required to continually demonstrate the Villages quality of life.

## M.4 CONSTRUCTION CONTROLS

Implement a well-conceived construction control plan to manage dust, mud, contamination, etc. on and off site. All forms of construction debris must be kept to a minimum. Eliminate downwind fumes, gasses and construction debris. Minimize onsite trash. Do not allow materials off site and on adjacent property. Sites must be secured at all times during construction. Measures must be taken to provide protective structures to ensure pedestrians, workers and the public are protected from construction. Emergency access must be provided for fire and rescue, and emergency lanes must be clear for all emergency equipment at all times.

All sites must implement mud and debris control onsite and remove mud and debris off site. Contractors are requested to submit a cleanup schedule and will be required to minimize the construction impact to The Villages at Johnstown and the Town of Johnstown.

# N. RESIDENTIAL

## N.1 SUBMITTALS

The submittal process for Single Family and Multi-Family residential is very similar to the submittal process outlined in A.2, page 3. However, for the single family/single owners the process is abbreviated. To assist the applicant, a "Single Family Submittal Kit" from the DRC is available. This kit will outline the documents and drawings required for DRC submittals.

## N.2 ARCHITECTURAL STANDARDS

The items listed below are the Performance Standards for single family residential areas. Upon acceptance of the applicant's preliminary plans, elevations, and materials boards by the DRC and JRC, applicants may apply for a building permit to the Town of Johnstown.

Each applicant must provide construction documents for submittal. Stock plans are discouraged and modular or factory-built dwellings are not allowed. Multi-family plans will require approval of the DRC and JRC prior to applying for building permit. Plans must meet the design guidelines available from the Town of Johnstown.

Builders and owners are required to create a variety of architectural styles in the development. Encouraging diversity is preferred. No single family detached home model elevation should be repeated for a minimum of three lots on either side, or across the street. All homes must have the DRC and JRC approval, and permits from the town.

Please refer to Section K for site furniture information.

Roofing shall be of simulated cedar shake shingle, simulated stone, stone, terracotta,

concrete tile, or other approved materials accepted by the DRC and JRC. In the case of asphalt shingles, a 40-year architectural shake style is required. Roofing materials shall be of earth tone colors and in the case of simulated shingles, may also include dark gray and dark green. Traditional terra cotta colored clay and concrete tiles (a variety of colors) are acceptable.

Side entry garages are preferred. Staggered front yard setbacks are highly encouraged to alleviate garages dominating the streetscape. A minimum of 50% of the front façade of any home will be non-garage area for two-story homes and ranch style homes 30%.

Trim will be required around the perimeter of all doors and windows on all four sides, unless replaced by brick or stone.

All plans will include brick, stone or stucco (optional) on front elevations.

The following minimum percentage will apply to stucco, brick and/or stone for single and multi-family.

- Front elevation: 30%
- Side elevation: Wrap all sides 4'-0", consistent with front elevation.
- Rear: Optional

The DRC and JRC may allow a modification to the percentage, and are allowed to view each proposal on a case by case basis.

The following maximum percentages of stucco are allowed:

- Side elevation: 50%
- Rear elevation: 80%

Percentage shall be calculated as a percentage less doors, windows and garage doors. Cantilevered areas where masonry cannot be attached shall be included in the calculation. The material needed to meet the minimum calculation shall be provided in an alternative location on the same façade.

Landscaping must be installed as soon as possible either during or immediately following construction. Weather permitting, landscaping must be installed no later than five months, and not exceed one growing season. The lot shall be suitably landscaped with grass, shrubs and trees. It is the intent that each lot shall be fully landscaped. Plant material native to this climate, and the addition of sprinkler systems for areas requiring weekly mowing, are strongly encouraged. All lot landscaping plans must be approved by the DRC and architectural control committee prior to installation of materials. All landscaping shall be maintained by the property owner.

The dominant colors on homes are encouraged to be earth tones such as, beige, putty, taupe, browns, greens, slates and grays. Other colors will be subject to approval by the DRC and JRC.

There will be a variation in porch and covered entry design. Front porches must have a minimum depth of six feet. All plans will have a covered entry, either built-in as part of the roof, or by means of a porch.

Owners and builders are encouraged to use a variation in roof massing and style, including but not limited to gable, hip, arched or a combination of these.

The following items will be allowed to encroach into the setback a maximum of 24": eaves, overhangs, fireplaces, and cantilevers, vents, projecting windows, decks and similar architectural features.

Decks under 30" in height, with or without a rail may encroach into the front setback a maximum of 5'. Covered decks and porches may extend 10' into front setbacks.

No deck shall be above the main level of the home, unless integrated into the home design through the support of at least two walls of the home, or, one wall with structural columns.

Stairs from a raised deck shall vary in treatment so that adjacent decks do not have

identical stair treatment. This includes inset steps, horseshoe configuring and straight line (parallel) to departure from the deck. No second story stairs shall be at right angles to the deck.

Accessory structures as permitted by the DRC and JRC shall be architecturally compatible with the dwelling.

Accessory structures permitted: garages, work shelters, sheds (provided they match the house), gazebos, sun decks with shade trellis, observatories, arbors, weather protection shelters, green houses, pool houses and pools, outdoor barbecues, eating preparation and sitting areas.

Any element of construction, not specifically shown in graphic or written form shall conform to the requirements of International Residential Code.

No temporary building or structure shall be placed upon any lot, except by the developer or real estate company for use in connection with sales lots. Prior written consent of the DRC and permit from the Town of Johnstown is required. Consent for temporary buildings shall be granted only for a specific social, cultural, entertainment or recreational purpose of short-term duration.

## N.3 FENCES

Picket style fences will be allowed in front yards, not to exceed 36" in height. 6' high fencing is allowed at the rear and sides of the dwelling, and shall not extend beyond the front of the house. Fencing along arterial streets must be installed by developers. Fences bordering streets must be 6' high using decorative materials with masonry columns at 100' O.C. All fencing must be approved by the DRC and JRC.

Rear and side yard fencing for lots that are adjacent to open space, or parks for The Villages at Johnstown shall be installed and maintained by homeowner, and shall be a 3-rail, 6' high opaque cedar fence with 4" wide

planks. Installation of fencing is required prior to issuance of Certificate of Occupancy. All alternative fencing must be approved by the DRC and JRC.

All drive lanes, drive way and entry sidewalks must be paved with concrete, brick, stone or a combination of.

Home setback should vary in depth lot to lot for visual interest.

Building setbacks:

- Front: 20'-0" minimum  
Clear of sidewalk, pedestrian paths, or property line with no sidewalks
- Side: 5'-0"
- Rear: 5'- 0"

Garage setbacks:

- Front loaded garages allowed
- Rear: 5'-0"
- Side: 5'-0"
- Front: 10'-0" side loaded (only for multi-family residential)

All single-family garages must accommodate a minimum of two cars per household.

**N.4 RESIDENTIAL PHOTO EXAMPLES**



STONE FRONT FACADE WITH 8' DEEP PORCH.

**N.5 MINIMUM SIZES**

Single family residences and multi-family housing will have requirements for minimum sizes allowed in the Village. These sizes are as follows:

Apartment units: 650 G.S.F.

*25% maximum allowed*

Single family home: 1,400 G.S.F.

*15 -20% maximum allowed*

**RESIDENTIAL PHOTO EXAMPLES**



*EXAMPLE OF BAY WINDOWS*



*EXAMPLE OF HOME WITH COVERED FRONT PORCH*



*EXAMPLE OF COVERED ENTRANCE*



*EXAMPLE OF HOME WITH MASONRY*

**MULTI-FAMILY RESIDENTIAL PHOTO EXAMPLES**



*EXAMPLE OF APARTMENTS*



*EXAMPLE OF RESIDENTIAL VILLAGE WITH MULTI USES*



*EXAMPLE OF TOWNHOMES WITH SOLAR*



### RETAIL EXAMPLES



EXAMPLE OF BRICK AND SIGNAGE



EXAMPLE OF ONE STORY BUILDING WITH STUCCO AND AWNINGS



EXAMPLE OF BRICK WITH ROOF ELEMENTS AND MULTI-TENANT SCHEME

### OFFICE EXAMPLES



EXAMPLE OF MULTI-STORY AND MIXED MATERIALS ON EXTERIOR



EXAMPLE OF ONE-STORY WITH SIMULATED STONE WALLS



EXAMPLE OF TWO-STORY WITH BRICK ENTRY AND BRICK ON LOWER LEVEL

### INDUSTRIAL EXAMPLES



EXAMPLE OF TWO-STORY OFFICE SHOWROOM AND DISTRIBUTION



EXAMPLES OF OFFICE AND DISTRIBUTION CENTER



EXAMPLE OF BRICK BUILDING WITH ENTRY TOWER ELEMENTS

Copyright 2005 - these performance standard contents including written material, drawings, and photographs are instruments of services and are the property of Thompson Architects LLC. These may not be duplicated, disclosed or reproduced without the written consent of the Architect.  
Infringements will be prosecuted.

This page left blank intentionally

# THE RIDGE JOHNSTOWN

## DESIGN GUIDELINES

January 24, 2024

**DEVELOPER:**

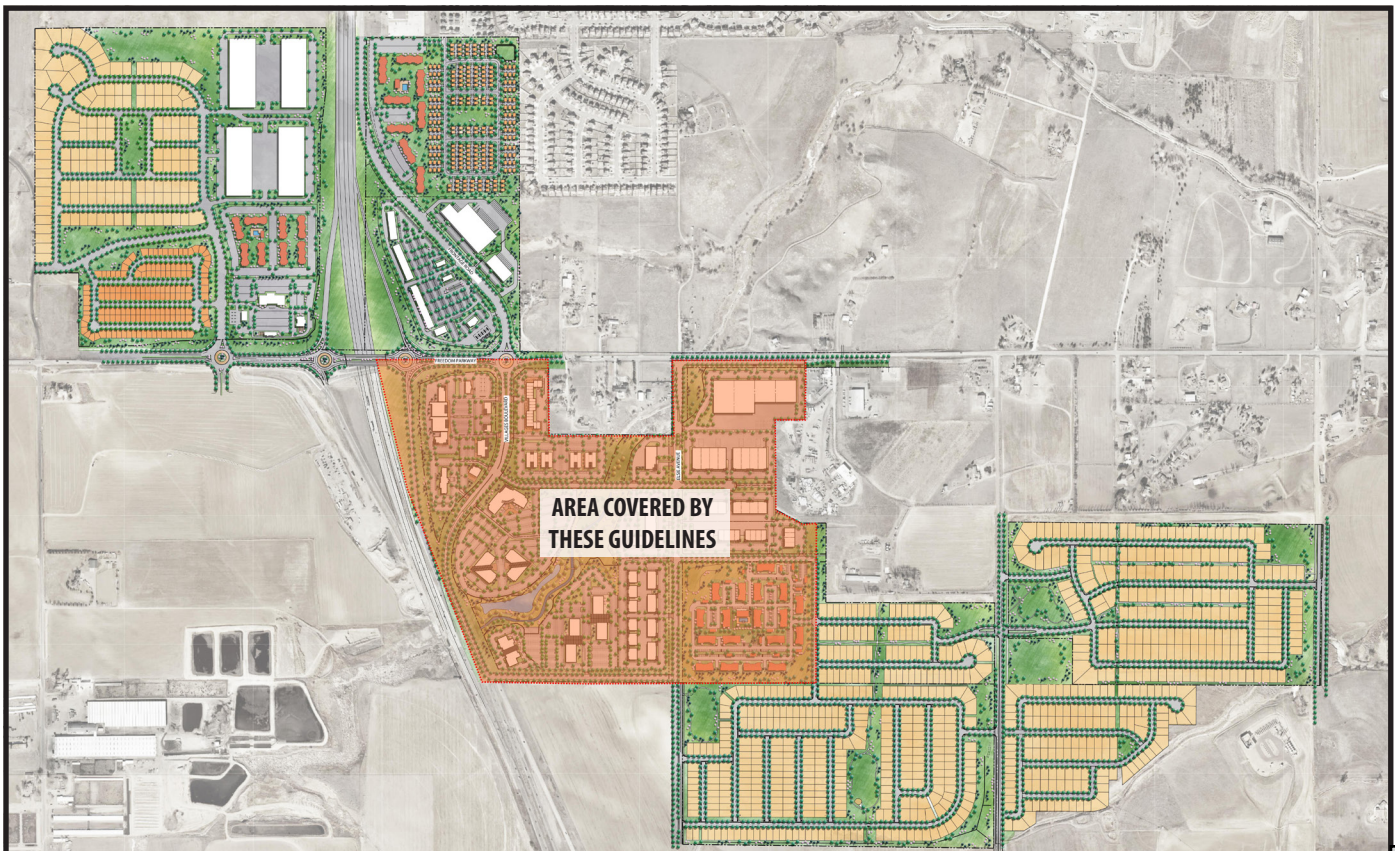
J-25 Land Holdings, LLC  
Roy Bade  
8901 E Mountain View Rd, Ste 150  
Scottsdale, AZ 85258  
480-398-4594

**LANDSCAPE ARCHITECTURE AND GUIDELINE PREPERATION**

RIPLEY DESIGN, INC.  
LAND PLANNING, LANDSCAPE ARCHITECTURE  
Russell Lee, PLA  
419 Canyon Avenue, Suite 200  
Fort Collins, CO 80521  
970-224-5828

**CIVIL ENGINEER:**

TST CONSULTING ENGINEERS  
Jonathan Sweet, PE  
748 Whalers Way  
Fort Collins, CO 80525  
970-226-0557



# CONTENTS

**1.0 Introduction..... 1**

**1.1 PURPOSE AND INTENT OF THE GUIDELINES . . . . . 1**

**1.2 THE VISION . . . . . 1**

**1.3 SITE DESCRIPTION . . . . . 2**

**1.4 LANDUSE SETBACKS . . . . . 2**

**1.5 LAND USES . . . . . 2**

1.5.1 RESIDENTIAL PRINCIPAL USES . . . . . 2

1.5.2 RESIDENTIAL SECONDARY USES . . . . . 2

1.5.3 PUBLIC PARKS AND RECREATION AREAS . . . . . 2

1.5.4 RESIDENTIAL PERMITTED ACCESSORY USES . . . . . 2

1.5.5 MULTI-FAMILY RESIDENTIAL PRINCIPAL USES . . . . . 2

1.5.6 MULTI-FAMILY RESIDENTIAL PERMITTED ACCESSORY USES . . . . . 3

1.5.7 RETAIL PRINCIPAL USES . . . . . 3

1.5.8 RETAIL PERMITTED ACCESSORY USES . . . . . 3

1.5.9 OFFICE PRINCIPAL USES . . . . . 3

1.5.10 OFFICE PERMITTED ACCESSORY USES . . . . . 3

1.5.11 LIGHT INDUSTRIAL PRINCIPAL USES . . . . . 4

1.5.12 LIGHT INDUSTRIAL ACCESSORY USES . . . . . 4

1.5.13 FLEX PRINCIPAL USES . . . . . 4

1.5.14 FLEX ACCESSORY USES . . . . . 4

1.5.15 OUTDOOR AND INDOOR FAMILY ENTERTAINMENT . . . . . 4

1.5.16 OPEN SPACE PRINCIPAL USES . . . . . 4

1.5.17 OPEN SPACE ACCESSORY USES . . . . . 4

**2.0 Procedures ..... 5**

**2.1 Design Review Committee & Procedures for Submittals & Approvals for Development Projects . . . . . 5**

**2.2 THE RIDGE DESIGN REVIEW COMMITTEE (DRC) . . . . . 5**

2.2.1 DRC APPROVAL PROCESS . . . . . 5

**2.3 JOHNSTOWN REVIEW COMMITTEE (JRC) . . . . . 5**

2.3.1 JRC APPROVAL PROCESS . . . . . 6

2.3.2 PRE-APPLICATION . . . . . 6

2.3.3 FINAL DEVELOPMENT PLAN SUBMITTAL AND PROCESS . . . . . 6

**2.4 JRC APPROVAL . . . . . 6**

**2.5 JRC APPEALS . . . . . 6**

**2.6 ADDITIONAL CRITERIA & UPDATES . . . . . 6**

**2.7 VARIANCES . . . . . 6**

**2.8 FINAL PLAN AMENDMENTS . . . . . 7**

**2.9 RELATIONSHIP TO OTHER DOCUMENTS . . . . . 7**

**2.10 STREETScape DESIGN . . . . . 8**

2.10.1 ENTRIES . . . . . 8

2.10.2 ARTERIALS AND COLLECTORS . . . . . 8

2.10.3 PRIMARY ENTRY SIGN . . . . . 10

2.10.4 SECONDARY ENTRY SIGN . . . . . 10

**2.11 LANDSCAPE GUIDELINES FOR PUBLIC PROPERTY . . . . . 10**

2.11.1 ARTERIAL RIGHTS-OF-WAY . . . . . 10

2.11.2 GUIDELINES FOR PRIVATE DRIVES . . . . . 10

2.11.3 PARKS, OPEN SPACE, REGIONAL DETENTION AND NATURAL AREAS . . . . . 10

**3.0 General Design Guidelines for Development 10**

**3.1 SITE ENGINEERING . . . . . 11**

3.1.1 SITE PLANNING & DESIGN . . . . . 11

3.1.2 STORM DRAINAGE . . . . . 11

3.1.3 UTILITIES, EASEMENTS & RIGHTS-OF-WAY . . . . . 11

3.1.4 GRADING . . . . . 11

**3.2 PEDESTRIAN, BICYCLE AND OTHER NON-MOTORIZED CIRCULATION . . . 12**

3.2.1 WALKWAY DESIGN CRITERIA . . . . . 12

3.2.2 BIKE LANES . . . . . 12

3.2.3 RECREATIONAL PATHS & TRAILS . . . . . 12

**3.3 VEHICULAR ACCESS & CIRCULATION . . . . . 12**

3.3.1 PARKING OVERHANG . . . . . 12

3.3.2 EMERGENCY ACCESS . . . . . 12

3.3.3 SIGHT TRIANGLES . . . . . 12

3.3.4 DRIVE-THROUGH FACILITIES . . . . . 12

**3.4 PARKING . . . . . 13**

3.4.1 PARKING LOT DESIGN . . . . . 13

3.4.2 DESIGN OF PARKING LOTS . . . . . 14

3.4.3 INTERIM PARKING LOTS . . . . . 14

3.4.4 BICYCLE PARKING . . . . . 14

**3.5 LANDSCAPING . . . . . 15**

3.5.1 LANDSCAPE DESIGN PRINCIPLES . . . . . 15

3.5.2 MICROCLIMATIC CONSIDERATIONS . . . . . 15

3.5.3 EXISTING VEGETATION PRESERVATION . . . . . 15

3.5.4 SCREENING . . . . . 16

3.5.5 LANDSCAPING - BIG BOX RETAIL STORES . . . . . 16

3.5.6 OFFICE, FLEX & LIGHT INDUSTRIAL LANDSCAPING . . . . . 16

3.5.7 PARKING PERIMETER LANDSCAPING REQUIREMENTS . . . . . 17

3.5.8 PARKING INTERIOR LANDSCAPING REQUIREMENTS . . . . . 17

3.5.9 SINGLE FAMILY LANDSCAPE GUIDELINES . . . . . 17

3.5.10 COMMON OPEN SPACE . . . . . 18

**3.6 LANDSCAPE FOR NON-SINGLE FAMILY RESIDENTIAL USES INCLUDING PUDS & MULTI-FAMILY RESIDENTIAL . . . . . 19**

3.6.1 LANDSCAPE PERFORMANCE STANDARDS . . . . . 19

3.6.2 IRRIGATION SYSTEMS . . . . . 19

3.6.3 SOIL AMENDMENT . . . . . 20

3.6.4 PLANT SELECTION AND DIVERSITY . . . . . 20

3.6.5 STREET TREE MINIMUM STANDARDS . . . . . 20

3.6.6 LANDSCAPE MAINTENANCE . . . . . 21

**3.7 SITE DEVELOPMENT SIGNAGE . . . . . 22**

3.7.1 PROJECT IMAGE . . . . . 22

3.7.2 The Ridge SIGNAGE SYSTEM . . . . . 22

3.7.3 PRIMARY ENTRY SIGN . . . . . 22

3.7.4 SECONDARY ENTRY SIGN . . . . . 22

3.7.5 PURPOSE . . . . . 22

3.7.6 PROHIBITED SIGNS . . . . . 22

3.7.7 SIGN AREA MEASUREMENT AND ALLOWANCES . . . . . 22

3.7.8 TEMPORARY SUBDIVISION SIGNS . . . . . 25

3.7.9 FREESTANDING SIGNS . . . . . 26

3.7.10 OTHER DISPLAY AND INFORMATIONAL ELEMENTS . . . . . 26

**3.8 SITE FURNISHINGS . . . . . 27**

3.8.1 SITE FURNITURE . . . . . 27

3.8.2 ART . . . . . 27

3.8.3 FENCING & WALLS . . . . . 27

3.8.4 LIGHTING . . . . . 27

**3.9 RETAIL BUILDING DESIGN STANDARDS . . . . . 28**

3.9.1 RETAIL DEVELOPMENTS . . . . . 28

3.9.2 BIG BOX RETAIL STORE DESIGN . . . . . 28

3.9.3 ROOF AND TOP TREATMENTS . . . . . 29

3.9.4 FREESTANDING STRUCTURES / ELEMENTS . . . . . 29

3.9.5 MATERIALS AND COLORS . . . . . 29

3.9.6 FACADES . . . . . 29

3.9.7 BUILDING ENTRANCES . . . . . 30

**3.10 DESIGN STANDARDS FOR VEHICLE SALES AND SERVICE ESTABLISHMENTS . . . . . 29**

**3.11 DESIGN STANDARDS FOR OUTDOOR & FAMILY ENTERTAINMENT . . . . . 29**

**3.12 OFFICE / FLEX / LIGHT INDUSTRIAL . . . . . 30**

**3.13 WAREHOUSING & DISTRIBUTION . . . . . 32**

**3.14 SINGLE FAMILY RESIDENTIAL . . . . . 33**

3.14.1 SINGLE FAMILY RESIDENTIAL SITE DESIGN . . . . . 34

3.14.2 RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS . . . . . 34

**3.15 MULTI-FAMILY RESIDENTIAL . . . . . 34**

**4.0 Definitions . . . . . 37**

# 1.0 Introduction

## 1.1 PURPOSE AND INTENT OF THE GUIDELINES

The Ridge is a master-planned community located at the south east intersection of Interstate 25 and Freedom Parkway in the growing Johnstown area. It is important to provide design guidelines that maintain the unique character and principles of the development and reflect the importance of the larger regional context. The purpose of the guidelines is to provide a manual to ensure that the character of The Ridge is maintained throughout the development and to provide instruction on acceptable site planning, circulation, streetscapes, parking, open space, landscaping, signage, site furnishings and lighting.

The design guidelines should be utilized by the Developer, builders, designers, architects, engineers, planners, and residents to find design, construction, and maintenance information for the community. These guidelines are to be used in conjunction with The Ridge ODP documents. Section 1 contains the vision, site opportunities and constraints, proposed land use plan and information regarding submittal information for design review by The Ridge Design Review Committee (DRC) and the Town of Johnstown (JRC). Community-wide design elements that convey the character of The Ridge are located in Section 3. The General Design Guidelines (Section 3) apply to all development and specific types of development requirements are located in Section 3. Civic uses should follow the guidelines for the areas in which they are located and will be reviewed on a case by case basis. Definitions can be found in the last section.

### *The Design Guidelines sections are as follows:*

- Introduction
- Procedures
- General Design Guidelines for Development
- Definitions

The Preliminary and Final Development Plans, preliminary and final plats and other development entitlement documents for The Ridge have been approved or require approval by the Town of Johnstown. These documents should be reviewed specifically for each development.

In addition, all developments within The Ridge are subject to the performance standards and guidelines that are contained in this document. In cases where this document or the approved development entitlement document for a given property is silent, the Town of Johnstown standards and regulations, in place at the time of project submittal, shall apply. Interpretation of conflicts within the zoning documents and the land use code shall be resolved by the Johnstown Board of Appeals. Refer to the Outline Development Plan for a summary of the types of land uses that are envisioned and corresponds to the specific design guideline sections in this document. All guidelines and standards are subject to the reasonable discretion of the DRC and JRC, which shall make a final determination in good faith.

The provisions of these Guidelines shall supersede any conflicting provision of the Johnstown Municipal Code and may only be modified to protect the health, safety, and welfare of the general public by the Town Board following at least thirty (30) days written notice to the record owner of any real property effected by the modification.

## 1.2 THE VISION

The vision for The Ridge is that of a high quality regional commerce center and mixed-use community that responds to the needs of the area and market forces, integrates with the natural environment, and provides vibrant places for people to shop, work, live and socialize. The Ridge will perform as a live, work, commerce concept that allows land uses such as residential, office and retail to relate to one another in an attempt to promote a mixed-use community. The character of the development is conveyed in the streetscape and signage allowing uses to express their individual themes without taking away from the overall development character. Key intersections will allow for landmarks that add to the development's character and provide interest on both the vehicular and pedestrian level.

### 1.3 SITE DESCRIPTION

The Ridge site is ideally located near the intersection of I-25 and Freedom Parkway on land that has historically been used for farming. The site is bordered on the north by the North Ridge development. The site is bordered on the south by the South Ridge Development. The site is relatively flat, as typically is the case for farmland, and features prominent views from the highway into the site and from the site out to mountains. Major vehicular access points are located along Freedom Parkway and the Frontage Road. Proposed access points are illustrated in the proposed land use plan. Existing utility easements and rights-of-way are discussed in Section 3.1.3.

### 1.4 LANDUSE SETBACKS

BUILDING SETBACK FROM HIGHWAY	50'
BUILDING SETBACK FROM ARTERIAL	25'
BUILDING SETBACK FROM FRONTAGE ROAD	20'
BUILDING SETBACK FROM ROW	20'
BUILDING SETBACK FROM SIDE AND REAR	20'
PARKING AND DRIVE SETBACK FROM SIDE AND REAR PROPERTY LINES	5'
PARKING SETBACK FROM ARTERIAL AND COLLECTOR STREETS	10'
PARKING SETBACK FROM LOCAL STREETS	5'

### 1.5 LAND USES

*The land uses on the following pages show the general intent within each land use category. The lists contain specific examples for guidance purposes, but not by way of limitation. Refer to latest approved plans.*

#### 1.5.1 RESIDENTIAL PRINCIPAL USES

- A. Single-family detached dwellings
- B. Single-family attached dwellings

#### 1.5.2 RESIDENTIAL SECONDARY USES

- A. Fee simple townhomes
- B. Condominiums

#### 1.5.3 PUBLIC PARKS AND RECREATION AREAS

- A. Public recreation

#### 1.5.4 RESIDENTIAL PERMITTED ACCESSORY USES

- A. Private garages and paved parking areas
- B. Private residential and private group outdoor recreational facilities, including by way of example, but not of limitation, swimming pools and tennis courts
- C. Home occupations, subject to the limitations listed in the Town of Johnstown Zoning Code, and limited in that uses shall be conducted entirely within the dwelling, no advertising is displayed on the premises and no exterior storage is created
- D. Service buildings and facilities normally incidental to the use of a park or recreation area
- E. Any other structure or use clearly incidental to and commonly associated with the operation of a use permitted by right

#### 1.5.5 MULTI-FAMILY RESIDENTIAL PRINCIPAL USES

- A. Multi-family dwellings including by way of example apartments, condominiums, lofts, flats, rowhomes, and townhomes.
- B. Private recreation
- C. Private clubhouse, club, and lodge
- D. Mixed-Use buildings containing both commercial and residential uses.

### 1.5.6 MULTI-FAMILY RESIDENTIAL PERMITTED ACCESSORY USES

- A. Leasing or sales offices and facilities.
- B. Maintenance shop and facilities.
- C. Private garages, parking structures, and paved parking areas.
- D. Storage facilities for on-site residents.
- E. Private residential and private group outdoor recreational facilities, including by way of example, but not of limitation, swimming pools, basketball courts, playgrounds, and tennis courts
- F. Home occupations, subject to the limitations listed in the Town of Johnstown Zoning Code, and limited in that uses shall be conducted entirely within the dwelling, no advertising is displayed on the premises and no exterior storage is created
- G. Service buildings and facilities normally incidental to the use of a public park or recreation area
- H. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

### 1.5.7 RETAIL PRINCIPAL USES

- A. Retail stores including, but not limited to, food stores, delicatessen, bakery goods store, liquor store, hardware store, drugstore, regional department stores, general merchandise, grocery, clothing, membership and wholesale clubs, showroom warehouse, sporting goods, specialty shops etc.
- B. Customer service establishments including, but not limited to, barber and beauty shops, restaurants and/or bar, drive-thru and drive-in restaurants, shoe repair shop, coin-operated laundromat and dry-cleaning establishment, fine art studio, etc.
- C. Banks and financial institutions
- D. Medical and dental clinics and other health care
- E. Commercial lodging
- F. Travel Centers
- G. Theater, performance and music venues, both indoor and outdoor.
- H. Rental and servicing establishments. Minor repair of consumer products like musical instruments, tools, appliances, cell phones, computers etc.
- I. Convenience/gasoline service stations and travel centers
- J. Motor vehicle sales, parts and service
- K. Retail sales of furniture, fixtures, equipment, home supplies and hardware
- L. Health clubs, exercise establishments, and recreation facilities
- M. Mixed-Use buildings containing: (i) a combination of commercial uses or (ii) a combination of commercial and residential uses, provided that residential uses on the first floor shall not exceed 50% of the Gross 1st Floor Building Area, excluding any internal or structured parking facilities.
- N. Indoor and/or outdoor and family entertainment and/or recreation facilities

### 1.5.8 RETAIL PERMITTED ACCESSORY USES

- A. Garages for storage of vehicles used in conjunction with the operation of business
- B. Brewing and/or distillation of alcoholic beverages in conjunction with the operation of a restaurant, bar or tap room
- C. Off-street parking and loading areas
- D. Commercial parking facilities

### 1.5.9 OFFICE PRINCIPAL USES

- A. Business and professional offices
- B. Banks and financial institutions
- C. Call centers
- D. Hospitals, surgery centers, skilled nursing centers, medical and dental clinics and other health care
- E. Public administrative offices and service buildings
- F. Public utility offices and installations
- G. Public library
- H. Private club or lodge
- I. Research and development, laboratories
- J. Commercial lodging
- K. Passenger transportation terminals
- L. Vocational and trade schools, colleges and universities, distance learning, early childhood and daycare.
- M. Elementary, Middle, Junior and Senior High Schools. Outdoor storage will be allowed for storage of components necessary for school use
- N. Laboratory and research facilities



ated with the operation of a principal use permitted by right

### 1.5.10 OFFICE PERMITTED ACCESSORY USES

- A. Garages for storage of vehicles used in conjunction with the operation of business
- B. Off-street parking and loading areas
- C. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

### 1.5.11 LIGHT INDUSTRIAL PRINCIPAL USES

- A. Manufacturing, assembly, processing and fabrication plants
- B. Transportation terminals, including trucking
- C. General warehousing
- D. Brewing and distillation of alcohol
- E. Distribution centers
- F. Printing and publishing houses and related activities
- G. Automobile repair shops, repair and/or service
- H. General contractors and special trades contractor specializing in one or more trades of which the following are examples: plumbing and heating, painting and decorating, electrical work, glazing, insulation, carpentry and masonry
- I. Public utility offices and installations
- J. Enclosed Climate Controlled Storage Facilities

### 1.5.12 LIGHT INDUSTRIAL ACCESSORY USES

- A. Office, enclosed storage, power supply, warehouse distribution and other such uses normally auxiliary to the principal industrial use. Outdoor storage will be allowed for storage for necessary components of production. Outdoor storage shall be screened according to section 3.5.4 Screening.
- B. Motor vehicle storage
- C. Motor vehicle residential quarters for guards or caretakers
- D. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right
- E. Outside storage with screening as specified in section 3.5.4

### 1.5.13 FLEX PRINCIPAL USES

- A. Experimental, testing and research laboratories
- B. Passenger transportation terminals
- C. Data Centers
- D. Enclosed Climate Controlled Storage Facilities

### 1.5.14 FLEX ACCESSORY USES

- A. Office, enclosed storage, power supply and other such uses normally auxiliary to the principal flex use. Outdoor storage will be allowed for storage for necessary components of production
- B. General warehousing
- C. Distribution centers
- D. Parking and service areas
- E. Residential quarters for guards or caretakers
- F. Any other structure or use clearly incidental to and commonly associ-

### 1.5.15 OUTDOOR AND INDOOR FAMILY ENTERTAINMENT

- A. Restaurant
- B. Offices
- C. Educational classrooms
- D. Facilities for games of skill, athletic competition, and/or recreation (for example driving ranges, bowling alleys, ice rinks, swimming), electronic entertainment

### 1.5.16 OPEN SPACE PRINCIPAL USES

- A. Public or private parks and recreation areas
- B. Public, private, commercial and private group outdoor recreational facilities
- C. Buffers
- D. Trails
- E. Native areas
- F. Wildlife habitat

### 1.5.17 OPEN SPACE ACCESSORY USES

- A. Service buildings and facilities normally incidental to the use of a public park and recreation area
- B. Any other structure or use clearly incidental to and commonly associated with the operation of a principal use permitted by right

## 2.0 Procedures

### **2.1 Design Review Committee & Procedures for Submittals & Approvals for Development Projects**

Johnstown and the Property Owners agree to develop and agree to performance standards for the purpose of addressing design considerations including architectural, site planning, landscaping, streetscape and sign elements for land uses within The Ridge. The Ridge Design Guidelines are the performance standards and serve as the design standards for the property owners' association, if any exists.

The following outlines the successive processes for submittals and approvals for development projects. Projects must first be submitted to The Ridge Design Review Committee (DRC) before submitting to the Johnstown Review Committee (JRC). After approval is gained by both the DRC and the JRC, the project may be submitted for building permit application.

### **2.2 THE RIDGE DESIGN REVIEW COMMITTEE (DRC)**

The purpose of the DRC is to ensure proposed developments meet the standards as established in the Design Guidelines in order to maintain a consistency of planning and design for the entire project. The Ridge Design Guidelines legally apply to all land that is part of The Ridge, regardless of ownership, and are in addition to the zoning and land use regulations of local government. The Design Guidelines and supporting documents are administered and enforced by the DRC, which shall consist of the following five members: one Civil Engineer with a minimum of ten years of experience in land planning or development, one Landscape Architect/Architect/Planner with a minimum of ten years of experience in land planning or development, two The Ridge development property owners and one representative from a commercial real estate brokerage or development company with a minimum of ten years of experience.

#### **2.2.1 DRC APPROVAL PROCESS**

Any proposal to construct, modify or demolish improvements within The Ridge must have plan approval from the DRC prior to commencement, and following DRC approval must also receive administrative approval, in accordance with these design guidelines, from the Town of Johnstown Planning & Development Director. The DRC's review and approval process also applies to signage, changes in property use, and maintenance activities that take place on, or with respect to, property that is part of The Ridge. After the DRC approves a plan submittal, an applicant may proceed with a project, but only in strict compliance with the terms and conditions of approval. The DRC may perform periodic site inspections, both during development and on an ongoing basis thereafter to ensure compliance.

The DRC meets as needed with submittals, and projects are placed on a formal meeting agenda only after applications have been submitted at least two weeks prior to a meeting. Formal presentations to the DRC are mandatory for most development projects, however, most details are reviewed through informal meetings with the DRC representatives. This process is designed to expedite the preparation and approval of the plans for any specific site where development is contemplated. There are three phases in the development approval process.

#### ***DRC process includes:***

- Pre-design Conference
- Design Development (includes plans and elevations)
- Final submittal

Approval is contingent upon the submittal of materials and payment of any designated fees or expenses, and favorable review. A "Notice of Committee Action" letter from the DRC will be sent to each applicant within a maximum of thirty (30) days after the date of the submittal. This notice will state whether approval or disapproval has been granted and outline any conditions associated with the ruling.

Review fees may be required for all DRC submittals and shall be paid for the phase scheduled for review on or before said review. If the DRC requires that the applicant attend additional meetings with a DRC member or consultants due to incomplete, inadequate or improper submittals, then the applicant shall be responsible for paying the full costs of such services. No written confirmation of a DRC action will be issued until all appropriate fees have been paid. A current schedule of fees is contained in the submittal procedures packet.

### **2.3 JOHNSTOWN REVIEW COMMITTEE (JRC)**

The Town's Review Committee will be composed of members prescribed by Johnstown Municipal Code, or currently established process. The Design Review Committee may seek the assistance of any other Town employee or consultant whose expertise is necessary to review the application. All Town subdivision and re-subdivision requirements, building codes, permits and fees, as adopted by the Town, do apply.

### **2.3.1 JRC APPROVAL PROCESS**

All individual development projects in The Ridge shall be reviewed and approved by the Town pursuant to this approval process. This approval process shall supersede and replace all other Town approval processes for land use developments set forth in the Town of Johnstown's Zoning Code, Comprehensive Plan and any other applicable Municipal Ordinance provisions.

### **2.3.2 PRE-APPLICATION**

The applicant shall schedule a pre-application conference with the Town Planner prior to submittal of any project proposal. The intent of this initial meeting shall be as follows:

- A. To informally discuss the overall context and development objectives for the proposed project.
- B. To review how the project has interpreted the guidelines and criteria for development of the project as set forth in the Design Guidelines.
- C. To review a sketch plan and architectural design concepts prepared by the applicant which illustrates overall site development and major site development components. The sketch plan is intended to be a very preliminary sketch of the development concept and not a formal site plan.

### **2.3.3 FINAL DEVELOPMENT PLAN SUBMITTAL AND PROCESS**

All development projects shall be submitted in compliance with current Town standards and codes. Accompanying the application shall be all required fees as well as a certification from The Ridge DRC stating that the development as proposed in the application meets all the applicable standards and guidelines of The Ridge Design Guidelines. If the Town determines that the application is complete, the application shall then be reviewed by the JRC. If the Town determines that the application is incomplete, the Town shall specify in writing the specific ways in which the application is insufficient or incomplete. The JRC shall review the application for conformance with all of the applicable terms and conditions of The Ridge Design Guidelines. Review of the application by the JRC is administrative in nature for the purpose of determining that the proposed development as set forth in the application complies with the terms and conditions of The Ridge Design Guidelines. The JRC has the right to grant variances to The Ridge Design Guidelines based upon the applicant's ability to demonstrate innovative approaches to design solutions, or future market conditions which the JRC feels is advantageous to, and in conformity with, the intent of The Ridge Guidelines. In no event shall the JRC grant a variance to the permitted uses in a development parcel.

## **2.4 JRC APPROVAL**

The JRC shall approve the application if it complies with the applicable terms and conditions of The Ridge Design Guidelines. The JRC may approve the application with conditions. Said conditions shall be specifically related to compliance with standards and guidelines in The Ridge Design Guidelines and any and all applicable codes, standards, and regulations. If not addressed within The Ridge Design Guidelines the latest Town of Johnstown standards, codes and regulations shall apply. In the event the JRC determines that the proposed development in the application does not comply with the Design Guidelines, the JRC shall specify in writing the specific reasons in which the application does not meet the applicable criteria.

## **2.5 JRC APPEALS**

The decision of the JRC may be appealed by the applicant to the Johnstown Town Council. The appeal shall be in writing and shall be made within forty-five (45) days of the date of the transmittal of the JRC's decision. The Johnstown Town Council shall hear the appeal within forty five (45) days of the filing of the appeal by the applicant. The decision of the Johnstown Town Council on the appeal shall be final.

## **2.6 ADDITIONAL CRITERIA & UPDATES**

In addition to the criteria herein, the DRC and JRC may promulgate additional criteria that are not inconsistent with the criteria set forth herein. From time to time, any of these additional criteria may be amended by action of the DRC and JRC. Changes in land use or changes greater than the 20 percent dimensional criteria, which shall become a permanent part of the design guideline document, shall constitute a major change and shall be brought back to the Planning Commission and Town Council for review and approval.

## **2.7 VARIANCES**

The DRC may authorize variance from these criteria when circumstances such as topography, natural obstructions, hardship, or aesthetic or environmental objectives or considerations may warrant, insofar as they are not superseded by applicable Town of Johnstown zoning regulations. Such variances must be approved by the DRC and JRC. A variation of up to 20 percent in dimensional standard is allowed if it improves the project design or an unreasonable hardship can be demonstrated.

## 2.8 FINAL PLAN AMENDMENTS

---

Amendments to final plans must be approved by the DRC and JRC.

## 2.9 RELATIONSHIP TO OTHER DOCUMENTS

---

The Design Guidelines establish the guiding principles for review and processing of each development. There are other documents that were used as reference for the Design Guidelines or may be referred to for information not found within the Design Guidelines. The version currently in place at the time the project is submitted.

- A. Town of Johnstown Municipal Code
- B. Johnstown Area Comprehensive Plan- November 2021
- C. Johnstown/Milliken Parks, Trails, Recreation and Open Space Plan-May 2003
- D. Town of Johnstown Landscape Standards and Specifications
- E. Johnstown Criteria and Construction Regulations-April 2004
- F. Johnstown Transportation Plan
- G. Governing Documents of the property owners' association (if any exists) or Metro District.

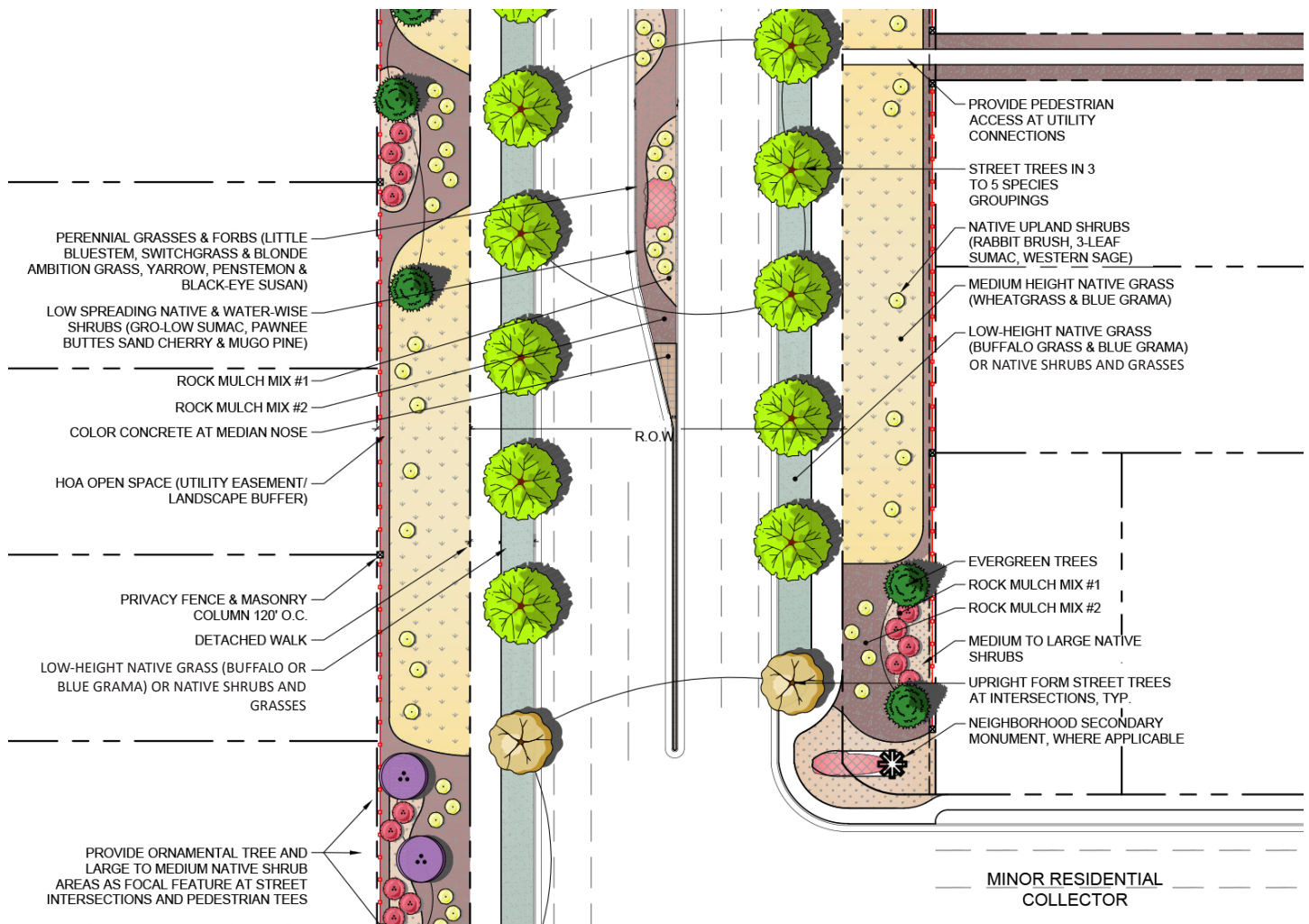
## 2.10 STREETScape DESIGN

### 2.10.1 ENTRIES

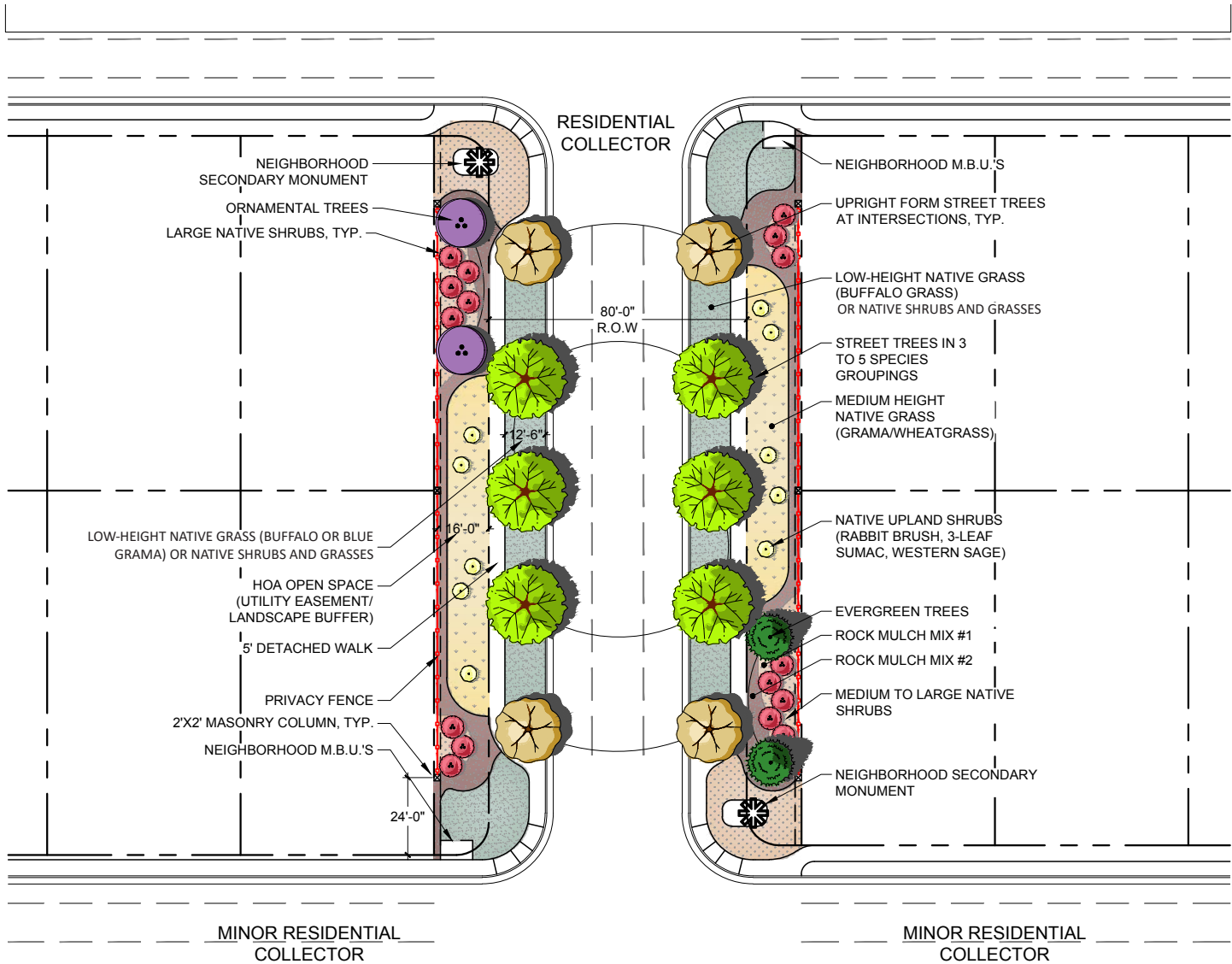
The Ridge entries will contain both signage and landscaping that tie into the overall development streetscape design. The ODP plan illustrates the major and minor entries into the site.

### 2.10.2 ARTERIALS AND COLLECTORS

Due to the size of the development, planting of arterial and collector streets will be treated in a similar fashion in order to create a unified and significant streetscape image. The streetscape design emphasizes xeriscape principles. A varying mix of deciduous trees will be planted in alternating rows in order to create a pleasant pedestrian experience. Both drought-tolerant turf and stone will be used for the ground-cover in order to minimize water usage, reduce maintenance, and provide contrasting textures and colors. Shrubs will be planted in masses within areas to emphasize the streetscape forms, screen cars and provide landscape interest. Occasional boulders located along the streetscape will add visual interest as well as tie sign materials into the streetscape. Medians will be planted in a similar fashion or will be constructed of colored & stamped concrete.



ARTERIAL STREET LANDSCAPE DESIGN INTENT-(SEE NORTH RIDGE ODP AND TRAFFIC STUDY FOR ARTERIAL DIMENSIONS)



COLLECTOR STREET LANDSCAPE DESIGN INTENT--(SEE NORTH RIDGE ODP AND TRAFFIC STUDY FOR COLLECTOR DIMENSIONS)

## 2.11 LANDSCAPE GUIDELINES FOR PUBLIC PROPERTY

### 2.11.1 ARTERIAL RIGHTS-OF-WAY LANDSCAPING

Arterial landscaping shall be designed and submitted along with the infrastructure plans. The developer or the builder is responsible for landscaping the entire area from the back of the curb to the property line at the time the adjacent land develops for a specific use. Additionally the developer or the builder is responsible for water dedication for landscape between the curb and property line. Arterial landscaping is intended to provide an overstory street canopy along arterial streets and a landscaped area between the street and pedestrian areas. The right-of-way will be landscaped with at least one (1) tree for every fifty (50) linear feet of right-of-way and 50% of the landscape areas shall be covered with plant material within five (5) years of installation.

- A. Trees will be placed to create a street tree canopy that provides an aesthetic gateway along arterial streets and also functions to cool street pavement.
- B. No single tree species may constitute more than 25% of all trees, either on a specific site or ROW landscaping associated with a project.
- C. Xeric landscape design and principals are encouraged
- D. Arterial Right of Way - This section is intended to provide as close to the full arterial landscaping requirement as allowed or recommended by the local and state jurisdictions.
- E. Collector Street Rights-Of-Way. The Developer is responsible for landscaping the entire area from the back of the curb to the property line at the time the adjacent land develops for a specific use. Collector street landscaping is intended to provide an overstory street canopy along collector streets and a landscaped area between the street and pedestrian paths.
- F. Overstory/shade trees will be provided between the curb and the sidewalk with at least one (1) overstory/shade tree for every fifty (50) linear feet of right-of-way.
- G. 50% of the landscape areas shall be covered with plant material within five (5) years of installation.
- H. Xeric landscape design and principals are encouraged

### 2.11.2 GUIDELINES FOR PRIVATE DRIVES

- A. All Private Drives to be a part of new development shall be constructed to full section width including full depth asphalt, curb and gutter along both sides.
- B. Where Private Drives are existing, and adjustments or damage occurs due to new development, such new developments are responsible for patching and repairing the drives per Town Standards.
- C. Alternate materials such as grass pavers may be approved for emergency access lanes not used for primary traffic at the discretion of the DRC /JRC, the local Fire Authority.

### 2.11.3 PARKS, OPEN SPACE, REGIONAL DETENTION AND NATURAL AREAS

- A. Parks, trail, and open space shall be in conformance with the requirements of the Town, as well as all applicable standards, specifications, and codes, at the time of project submittal.

## 3.0 General Design Guidelines for Development

### 3.1 SITE ENGINEERING

This section applies to all development within The Ridge and contains specific information on performance standards and guidelines for the design of public areas and private property, construction practices, landscape maintenance and the acceptable plant palette. In utilizing these regulations, one should remain flexible in approach to site design given the characteristics of the site, the nature of the use and the intent of these standards.

#### 3.1.1 SITE PLANNING & DESIGN

Site Design, Building Placement and Orientation

- A. Minimize environmental impact through sensitive design and mitigation.
- B. If possible, orient the long axis of the buildings north-south to avoid winter ice conditions created by long north-facing facades.
- C. Utilize trees to maximize shade in summer and reduce heat gain of paved surfaces.

#### 3.1.2 STORM DRAINAGE

The goal of the design of sites is to minimize runoff and design needed storm drainage systems to meet basic engineering requirements while using the most current technology to improve the quality of the storm water before it reaches natural systems that may be affected by poor water quality. This philosophy reduces infrastructure costs, increases groundwater recharge and improves the environment.

- A. Site drainage shall be compatible with adjacent property drainage and in accordance with the overall master drainage plan for The Ridge. Storm drainage shall not run on a neighbor's lot at rates higher than historic rates prior to construction of the subdivision.
- B. Excess run-off from the site shall be minimized with sites graded to provide positive drainage away from buildings.
- C. Water from parking lots, roof drains and other areas should be consciously directed to landscape areas that could benefit from the additional water rather than piping it off the property, thereby reducing the need for irrigation water and improving water quality by filtration through landscape materials. Roof drains on north side shall be piped to an open space.
- D. Drainage shall be conveyed along dedicated streets, private drives and swales along property lines, or in open space corridors. Drainage will be sheet flow and surface drained where possible; however, below-grade drainage using storm sewer piping and culverts may be required.
- E. Drainage structures in sidewalks and bike paths must be placed flush with the surface, and grate patterns cannot have openings larger than 3/8 inch. Surface storm water or irrigation should not be discharged across sidewalks; and there should be no point discharges into curbs to prevent traffic-im-peding surges into the street.
- F. No concentrated drainage over walks, drives or trails shall occur.
- G. Detention areas or other landscape areas that are not used to meet the open space standards of these Landscape Guidelines shall be landscaped as follows:
  - a. Dryland grass or other approved vegetation will be the primary ground cover. All areas within the floodplain, including, but not limited to, the detention area bottom, shall be planted with buffalo grass or other dryland grass if it is maintained free of weeds and irrigation is provided until the grass is fully established. Live plant material other than dryland grass may be planted if it is suitable to the area and is maintained free of weeds and irrigation is provided.
  - b. Detention areas will be landscaped around the perimeter with plant groupings sensitive to the detention area design and will include at least one (1) tree and five (5) shrubs for every 100 linear feet of perimeter. Trees and shrubs are encouraged in other landscape areas where appropriate.
  - c. Clusters shall be separated by a minimum of twenty (20) feet as measured at maturity.

#### 3.1.3 UTILITIES, EASEMENTS & RIGHTS-OF-WAY

- A. Proposed infrastructure within The Ridge will be designed to meet the Town of Johnstown Design Criteria and Construction Regulations which are adopted at the time the project is submitted.

#### 3.1.4 GRADING

- A. Provide positive drainage away from foundations.
- B. Site buildings to minimize cut and fill earthwork operations.
- C. There shall be no grading beyond the limits of each property except as agreed upon by adjacent owners.



- D. Maximum slope 3:1. Maximum 4:1 slope for areas that require mowing.
- E. With grading design:
  - a. Avoid un-natural rectilinear forms, abrupt grade transitions, slopes greater than 3:1 max. side slopes
  - b. Provide irregular forms that imitate nature, smooth transition to adjacent grades, varied side and bottom slopes, gentle side slopes and constant side and bottom slopes where possible

## 3.2 PEDESTRIAN, BICYCLE AND OTHER NON-MOTORIZED CIRCULATION

### 3.2.1 WALKWAY DESIGN CRITERIA

- A. All streets shall have sidewalks. The minimum width of sidewalks shall be five (5) feet for residential and collector streets and ten (10) feet for arterial streets.
- B. Arterial streets shall have detached sidewalks and sidewalks shall adjoin the curb and gutter at all intersections.
- C. Internal pedestrian walkways shall be distinguished from driving surfaces through a change in paving materials or painted cross walks.
- D. Provide logical pedestrian connectivity from the street and parking areas to the buildings main entrance.
- E. Provide minimum five (5) feet clear walking area after car overhang (seven (7) foot minimum walk width adjacent to head-in parking and five (5) foot minimum walks apply in all other cases).

### 3.2.2 BIKE LANES

Bike Lanes shall be provided as required by Johnstown street design standards.

### 3.2.3 RECREATIONAL PATHS & TRAILS

Shall meet the criteria as established in the Johnstown/Milliken Parks, Trails, Recreation and Open Space Plan in place at the time the project is submitted.

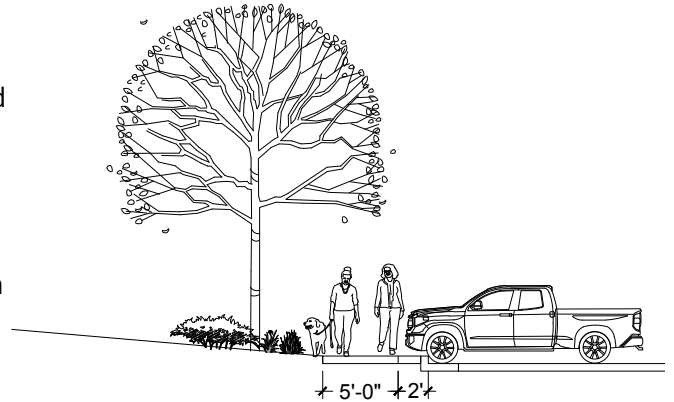
## 3.3 VEHICULAR ACCESS & CIRCULATION

### 3.3.1 PARKING OVERHANG

Design of vehicular drives/roadways and parking areas shall meet the criteria as established in the Town of Johnstown Design Criteria and Construction Regulations and all other Town standards, specifications and regulations in place at the time of project submittal.

### 3.3.2 EMERGENCY ACCESS

Provide access for fire, police, ambulance, and other emergency vehicles to buildings in accordance with Loveland Fire and Rescue Authority Development and Construction Requirements. Such access should be fully capable of supporting such vehicles. Where possible, connect emergency access routes between adjacent properties.



### 3.3.3 SIGHT TRIANGLES

Shall meet the AASHTO requirements and the Town of Johnstown standards, specifications, and regulations in place at the time of project submittal.

### 3.3.4 DRIVE-THROUGH FACILITIES

Drive-through facilities are a convenient service; however they may create barriers to pedestrian movement and present an unattractive appearance unless they are thoughtfully designed and located.

- A. Drive-through facilities shall be located on the site and not on public right-of-way.
- B. There shall be no stacking of waiting vehicles into the public right-of-way, primary interior circulation routes or across pedestrian walkways.
- C. Drive through windows, menu boards and stacking areas shall be subject to the same set back and screening requirements as parking lots.
- D. Each drive-through restaurant shall be permitted no more than two (2) free-standing or wall-mounted menu boards, which shall not exceed 35 square feet in area or six (6) feet in height and shall be located adjacent to and oriented toward the drive-through lane. One (1) order confirmation board may

also be permitted per menu board and shall not exceed a four (4) foot height and three (3) square foot sign area  
 E. Provide vehicular and pedestrian access to existing and future adjacent properties where feasible.

## 3.4 PARKING

### 3.4.1 PARKING LOT DESIGN

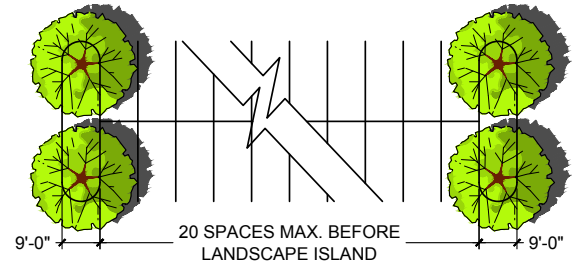
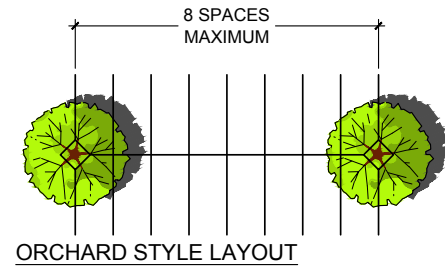
Sufficient parking should be provided for each development so as to avoid conditions that lead to parking on public streets and private drives. The dimensions of parking spaces will be per the Town of Johnstown Off-street Parking Regulations, at the time in which the Design Guidelines are adopted, or The approved development plan for the property. Where a use falls under multiple categories listed below the more specific use requirement will apply. Minimum parking requirements are listed in the following table. The DRC & JRC, at their discretion, reserve the right to require a parking study for any new development. If a permitted use is not identified below, the DRC may exercise reasonable discretion based on similar uses listed below or, if similar uses are not noted below, based on research of other adequately parked similar uses.

<b>USE</b>	<b>PARKING REQUIREMENTS</b>
Single-family residence	2 spaces per dwelling unit
Multifamily residence	1 space per dwelling unit (Studio / 1 bedroom) 1.5 spaces per dwelling unit (2 bedroom) 1.75 spaces per dwelling unit (3 bedroom) 2 spaces per dwelling unit (4+ bedroom) Attached Single Family (duplex, rowhome) shall provide required spaces in an enclosed garage.
Elementary schools	2 spaces for every classroom
Junior High Schools	1 space for every 5 students of max auditorium capacity
Senior High Schools	1 space for every 5 students of max auditorium capacity
Hospitals	1 space for every 2 beds
Clinics	5 spaces per practitioner
Warehouse and Distribution	1 space for every 1,250 sq. ft. of G.L.A. & 1 trailer space per dock door
Flex, Flex R&D, & Trade Contractors	1 space for every 350 sq. ft. of G.L.A.
Manufacturing	1 trailer space per dock door & the greater of: (i) 1 space for every 2 employees or (ii) 1 space for every 1,250 sq. ft.
Commercial Office Buildings	1 space for every 300 sq. ft. of G.L.A.
Retail Stores	1 space for every 250 sq. ft. of G.L.A.
Gun Range	2 spaces for every gun range lane
Customer services establishments	1 space for every 200 sq. ft. of G.L.A.
Call Centers	1 space for every 100 sq. ft. of G.L.A.
Restaurant and/or Bar	5 spaces for every 1000 sq. ft. minimum of G.L.A. & 1 space for every 200 sq. ft. of cumulative patio/deck area for a single user. Patios and/or decks under 500 sq. ft. are exempt.
Shopping Center	1 space for every 250 sq. ft. of G.L.A.
Outdoor and Indoor Family Entertainment	1 space for every 250 sq. ft. of G.L.A.
Public assembly facilities provided for churches, theaters, auditoriums, etc.	1 space for every 3 seats seated audiences
Heath Clubs	7 spaces for every 1000 sq. ft. of G.L.A.
Sports Facilities	Applicant to provide parking study to determine parking requirements
Independent senior living parking standard	1 space per dwelling unit and 1 space per 3000 s.f. of non-residential space excluding utility rooms.

### 3.4.2 DESIGN OF PARKING LOTS

Design parking lots to current Americans with Disabilities Act (ADA) standards. Provide equal access in a manner that integrates handicapped-accessibility with ordinary accessibility, rather than separately.

- A. Except where orchard style planting is used, large parking lots shall be divided into smaller sections by landscape areas. Each section shall contain a maximum of 250 parking spaces. Landscape areas used to break up large parking areas shall be a minimum of fifteen (15) feet in width.
- B. Landscape areas separating parking blocks will have at least one (1) overstory/shade tree or two (2) ornamental trees and five (5) shrubs for every 50 linear feet along the length of the median
- C. Overstory shade trees will comprise at least 75% of the trees within the landscape area.
- D. In a development, parking lots for each use shall be integrated within the development to the extent possible.
- E. All striping in parking areas shall be white.

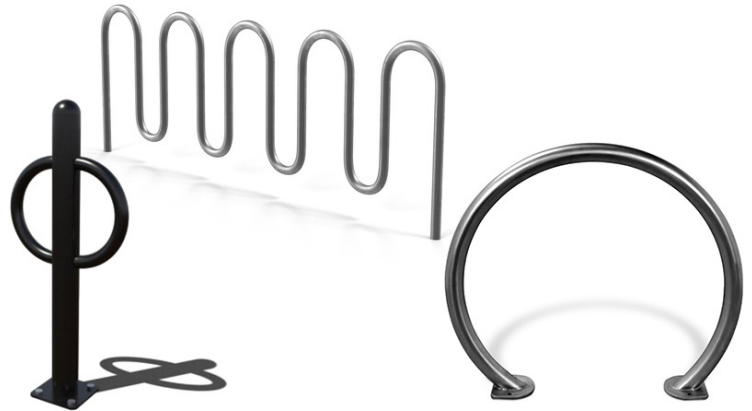


### 3.4.3 INTERIM PARKING LOTS

With DRC and JRC approval, on-grade interim parking may be allowed if weather delays asphalt or concrete paving. It must be landscaped and paved with an all-weather material. Internal parking lot landscaping is not required for interim parking areas, but perimeter landscape treatments shall be consistent with the landscape requirements for permanent parking lots. Interim parking lots shall be limited to 1 year (12 months with 2-6 month extensions) of use.

### 3.4.4 BICYCLE PARKING

- A. Bicycle parking facilities are required for all land uses, except for single-family attached or detached housing.
- B. Bicycle parking facilities shall be located to provide safety, security and convenience for bicycle riders. Such facilities shall not interfere with, and be located a safe distance from, pedestrian and motor vehicular traffic.
- C. Bicycle parking facilities should be located outside of a vehicular or pedestrian way and be protected and separated from motor vehicle traffic and parking lots by either a three (3) foot separation distance or a curb or other physical barrier.
- D. For security reasons, bicycle-parking areas should be located so they are highly visible from building entrances and convenient for employees, yet not generally visible from roadways.
- E. It is recommended that bicycle parking facilities be designed to allow the bicycle frame and both wheels to be securely locked to the parking structure. The structure shall be of permanent construction such as heavy gauge tubular steel and permanently attached to the pavement foundation.
- F. If the bicycle facility is to be used at night, it should be sufficiently illuminated.
- G. Select bicycle racks that provide for a wide range of bicycle types and individual security devices. Designs should facilitate bicycle lockup.
- H. Provide protection from the elements. Specific considerations include the following:
  - I. Shelters and bike lockers are encouraged but not required.
  - J. Protected overhangs incorporated into a buildings design are a desirable solution.
  - K. Shelter design and materials should complement the architectural design of the primary building.

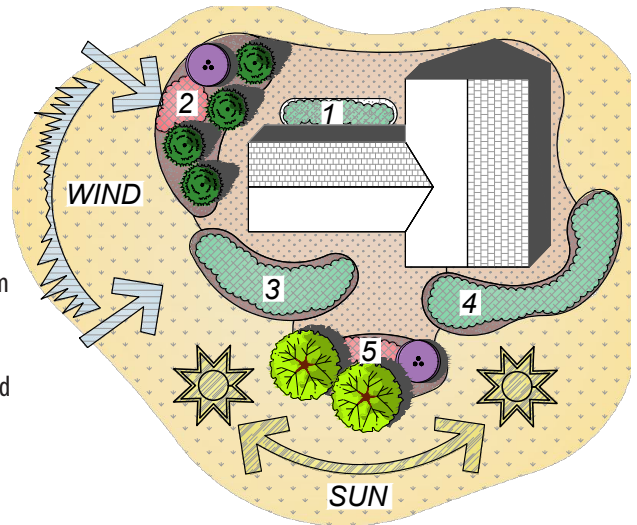


## 3.5 LANDSCAPING

### 3.5.1 LANDSCAPE DESIGN PRINCIPLES

All development shall demonstrate adherence to the following landscape design principles:

- A. Provide biodiversity that relates to the area's natural systems.
- B. Design to provide an attractive, comfortable environment for users while minimizing maintenance needs, irrigation water requirements and the use of herbicides and pesticides.
- C. Use environmentally friendly, "green" materials where possible.
- D. Design landscapes to create a naturalized appearance. Use plant materials that are indigenous to Northern Colorado where possible. (See the plant list in the Appendix). Only use introduced species in order to achieve design objectives that cannot be achieved with the use of native species.
- E. Locate plants in microclimatic conditions that are appropriate for that species. Only use high water-requiring plants in areas where they will naturally benefit from runoff or available ground water. Do not rely solely upon an irrigation system to provide water to high water-requiring plants.
- F. Group plant materials of similar water needs and arrange in concentric circles or layers of progressively less water use in order to maximize the efficiency of applied irrigation.
  - a. Plant species more susceptible to sun, wind & cold temperatures in sheltered areas.
  - b. Evergreen trees to provide shelter from winter winds.
  - c. SW facing plants should tolerate summer heat & drying winds.
  - d. Eastern facing areas allow some shelter from sun & wind.
  - e. Deciduous trees shade in summer and let light through in winter.



### 3.5.2 MICROCLIMATIC CONSIDERATIONS

- A. Use plant materials to provide buffering of structures and outdoor use areas from extreme climate conditions.
- B. Coordinate the design of the landscape with site erosion protection, storm drainage and water quality improvement systems.
- C. Utilize a minimum of three (3) inch deep mulch to reduce soil moisture loss and moderate soil temperatures.
- D. Where natural soils are not of high quality, improve soil structure by the addition of composted organic material.
- E. Design and manage irrigation systems to achieve peak efficiency.
- F. No turf grass shall be allowed in landscape areas less than eight (8) feet in width.
- G. Rock mulch shall be used in all planting beds. Wood mulch may be used in perennial beds but will not be accepted along property boundaries.
- H. Native seed shall be limited to areas adjacent to regional detention or the existing natural area & is required to be irrigated until establishment.

### 3.5.3 EXISTING VEGETATION PRESERVATION

Existing vegetation shall be preserved to the extent reasonably practicable. Special attention shall be paid to preserving significant vegetation within larger open space areas.

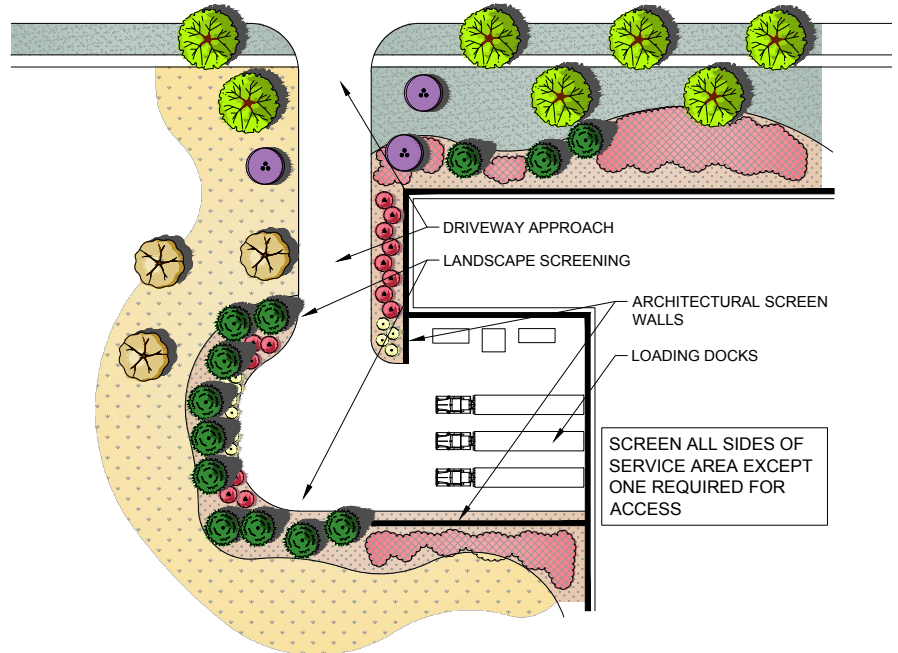
- A. Locate site and building improvements to preserve significant natural vegetation to the extent reasonably practicable.
- B. Within open space areas, preserve and incorporate into the landscape plan any existing healthy tree (meeting species restrictions) of 6-inch caliper or larger and located more than twenty (20) feet from any proposed building location. Preserve all trees over 24-inch caliper, unless deemed unhealthy or unsuitable for preservation.
- C. Incorporate tree wells or retaining walls as necessary in the landscape plan to protect existing trees and to maintain historic drip lines.
- D. All existing plants that are incorporated into the design will be adequately protected from damage during construction by an orange construction fence (4 feet high) secured with steel t-posts at the drip line of each tree. Sufficient posts shall be used to maintain the fence in erect condition at all times. Hand grading only shall be allowed within the limits of the construction fencing. No more than 6 inches of cut or fill shall be allowed within the drip line of any tree designated to remain.

- E. If on-site replacement is not possible, the property owner shall provide an equal replacement of caliper lost or a ratio of three new trees to one existing tree on-site as mitigation for any desirable trees lost due to or prior to construction.
- F. Existing landscaping may be used to satisfy the quantity requirements of landscape guidelines. One existing tree or shrub may be considered as satisfying one tree or shrub requirement.
- G. All existing trees over 6 inches in diameter will be surveyed as part of the landscape requirements and have location, species, size, and condition or health noted. Trees that are of good or better quality, and are a desirable species, should be incorporated into the design in their existing location whenever possible. If design solutions create undue hardship, as determined by the DRC and JRC, replacement shall be made per requirements above.

### 3.5.4 SCREENING

#### Large Truck Parking, Utility Appurtenances, Loading, Storage and Service Areas, Trash storage/pickup

- A. These requirements apply but are not limited to above-ground utility appurtenances, loading docks, storage areas, and open areas where machinery, vehicles or equipment are stored or repaired.
- B. Areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts of these functions are minimized and 75% screened from adjacent properties.
- C. Loading areas shall be paved with concrete, asphalt or other approved hardened surface materials as approved by DRC and JRC. A concrete pad shall be provided in the access drive immediately adjacent to trash enclosures serviced by trash trucks and in the enclosure itself. Areas for outdoor storage, truck parking, trash collection or compaction, loading or other such uses, shall be at least 75% screened from abutting streets unless otherwise approved by the DRC and JRC. These service areas should be located within a central core or on the side of buildings away from public streets where possible.
- D. Non-enclosed areas for seasonal sale of inventory shall be permanently defined and screened with walls and/ or fences that conform to those used as predominant materials and colors on the building.
- E. Service areas should ideally not be located directly adjacent to residential areas. If this situation occurs, no delivery, loading, trash removal or compaction, or other such operations shall be permitted between the hours of 10:00 p.m and 7:00 a.m. unless the owner submits evidence the sound barriers effectively reduce noise emissions to a level less than the greater of:
  - a. 60 db as measured at the lot line of the adjoining property or
  - b. Ambient sound from adjacent highways. Noise emissions may increase by up to 10 db for no more than 15 minutes in a one-hour period.



### 3.5.5 LANDSCAPING - BIG BOX RETAIL STORES

One primary tenant with square footage greater than 20,000 sf must provide a planting bed at least six (6) feet wide along a minimum of 50% of the length of wall visible from public use areas. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3.

### 3.5.6 OFFICE, FLEX & LIGHT INDUSTRIAL LANDSCAPING

- A. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall.
- B. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met.
- C. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3

### 3.5.7 PARKING PERIMETER LANDSCAPING REQUIREMENTS

- A. Perimeter landscaping requirements for parking areas include a minimum seven and one-half (7.5) foot wide landscape area with one (1) tree and five (5) shrubs per 600 square feet or portion thereof. When combined with adjacent properties requirements, this perimeter landscape will become fifteen (15) feet wide.
- B. Where two (2) parking perimeter landscape areas abut each other, the first to develop shall provide the tree requirement. The tree requirement for the abutting development need not be met, however, the second Builder is responsible for installing the shrub requirement.
- C. Where parking areas are located directly adjacent to residential development, both the parking lot buffer requirement and the nonresidential buffer requirements shall apply.

### 3.5.8 PARKING INTERIOR LANDSCAPING REQUIREMENTS

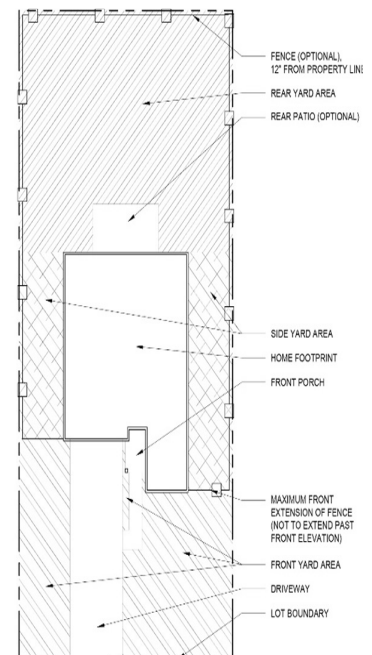
- A. Interior rows of parking spaces will provide a landscape island at the end of each row of parking spaces. Landscape islands will also be provided within the row of parking spaces so that there are no more than twenty (20) consecutive parking spaces without a landscape island.
- B. Landscape islands will have minimum dimensions of nine (9) feet by the length of the parking row.
- C. Islands will be landscaped at a rate of at least one (1) overstory/shade tree and three (3) medium or five (5) small shrubs for each 9 foot by 20 foot parking island. Overstory/shade trees will comprise at least 75% of the trees within the landscape islands. Evergreen trees shall be prohibited in parking lots unless island widths are sized to accommodate mature growth.
- D. Landscape islands will contain rock mulch or irrigated grass. Turf shall only be used in medians when highlighting a special design element. Turf areas must be at least 10' wide and occupy no more than 15% of the median's landscape area.
- E. Where orchard style planting is proposed in parking lots, internal landscaping shall be provided at a rate of one (1) tree and two (2) shrubs for every ten (10) parking spaces. At a minimum, one (1) diamond-shaped tree planting pit shall be provided for every eight (8) parking spaces. No shrubs shall be planted in the diamond tree planting pits and will be located in end islands and other landscape islands instead.
- F. A concrete pedestrian walk, at least six (6) feet wide, will be provided along the length of the landscape median closest to the building entrance. The walk will connect to perimeter pedestrian walks, whenever possible, and include raised and striped crosswalks.
- G. Planting trees and non-low-growing shrubs in the vehicle overhang area is not allowed.

### 3.5.9 SINGLE FAMILY LANDSCAPE GUIDELINES

(These landscape guidelines are for residential large lots. Small lot residential shall follow the latest Johnstown standards at the time of development submittal)

- A. Residential Lot Landscape Design Guidelines
  - a. Required Plant Quantities & Ground Treatment: Lot landscape shall follow xeric principles to the greatest extent possible. Irrigated turf will be limited to rear yards. Each lot is to have a minimum of 50% living coverage\* of the total landscape area within three years of installation (See diagram right for determining lot landscape area). Each lot is NOT to exceed 50% landscape area of moderate to high water use plantings. This includes irrigated turf and any other plantings requiring more than 12 inches of rainfall per year. Group plants in clusters to create concentrated zones for irrigation. Utilize rock cobble and boulders as decorative accents and ground coverage where live plantings are not used, match colors and styles to master development areas. Landscaping along property lines should be coordinated so that transitions are cohesive. Lot landscape is to be installed within one month of construction completion, weather permitting. Point-source drip irrigation should be used to the greatest extent possible.

\*Definition: Living Coverage means that a certain percentage of area must be planted and fully covered by live plant material such as ground cover, perennials, shrubs, grasses, etc. These areas are not to include mulches or artificial landscape such as artificial turf.



1 LOT DIAGRAM  
SCALE: NOT TO SCALE

#### General Notes:

- The trees shall be located so as not to interfere with sight distances at driveways.
- Trees required in the adjacent right-of-way may not be used to meet lot standards
- Trees shall maintain a minimum 5' offset from dry utilities, 10' offset from wet utilities and 15' from fiber optic lines. If required trees cannot

be located without violating these offsets the requirement may be waived.

### **FRONT YARDS: MINIMUM REQUIREMENTS**

- Lots 70 feet or less in width
  - o 1 (One) Deciduous Tree
  - o 5 (Five) Shrubs
  - o 3 (Three) Ornamental Grasses or Perennials
  - o No Turf will be allowed in Front Yards
  - o Up to 40% of Front Yard landscape area may be Low Grow Grass Mix (See DRC Recommended Plant List if one exists).
- Lots greater than 70 feet in width
  - o 2 (Two) Deciduous Trees
  - o 8 (Eight) Shrubs
  - o 5 (Five) Ornamental Grasses or Perennials
  - o No Turf will be allowed in Front Yards
  - o Up to 40% of Front Yard landscape are may be Low Grow Grass Mix (See DRC Recommended Plant List if one exists).
- Corner Lots
  - o For corner lots the same quantities shall be required for each street as listed above.

### **REAR YARDS: MINIMUM REQUIREMENTS**

- Lots 70 feet or less in width
  - o 1 (One) Deciduous OR Evergreen Tree
  - o Irrigated Turf is limited to 40% of Rear Yard
  - o There is no limit to Low Grow Grass Mix for Rear Yards
- Lots greater than 70 feet in width
  - o 1 (One) Ornamental Tree
  - o 1 (One) Deciduous OR Evergreen Tree
  - o Irrigated Turf is limited to 40% of Rear Yard
  - o There is no limit to Low Grow Grass Mix for Rear Yards

### **SIDE YARDS: MINIMUM REQUIREMENTS**

- No required landscape unless used to meet 50% lot landscape area living coverage.
- No Irrigated Turf will be allowed in Side Yards

#### **B. Minimum Plant Sizes**

Deciduous Trees: 1.5 Caliper Inches B&B

Evergreen Trees: 6' Height B&B

Shrubs: #5 (5 Gallon) Container – Minimum 18" Height or Spread

Ornamental Grasses: #1 (1 Gallon) Container

Perennials: #1 (1 Gallon) Container

### **3.5.10 COMMON OPEN SPACE**

Common Open Space is land commonly owned and maintained by a property owners' association or Metro District. Common open space required in all subdivisions and PUDs shall be landscaped as follows:

- A. Common open space areas will have live ground cover over at least 75% of the area, unless otherwise approved by the Town. Bluegrass is not the only option for these areas and the Town encourages the all property owners to pursue water saving goals as listed throughout section 3.5.
- B. All ground cover, ornamental turf and turf shall have an irrigation system that is designed to meet the needs of the plants and that is designed to meet Town Standards. Common open space in one-family subdivisions or PUDs or portions of subdivisions or PUDs containing one-family dwellings shall be

landscaped at a ratio of at least one (1) tree and five (5) shrubs for every 4,500 square feet of landscaped area.

- C. Up to 30% of the required shrubs may be substituted by trees at the rate of one (1) tree for ten (10) shrubs.
- D. At least 50% of the trees will be overstory/shade deciduous species and 25% of the trees will be coniferous species, where appropriate.
- E. The Developer shall have all landscaping improvements completed and in acceptable condition prior to the Town's construction acceptance of public improvements and prior to turning the common open space areas over to a property owners' association or Metro District for maintenance.
- F. No single tree type shall make up more than 25% of all trees

### **3.6 LANDSCAPE FOR NON-SINGLE FAMILY RESIDENTIAL USES INCLUDING PUDS & MULTI-FAMILY RESIDENTIAL**

- A. Fifteen percent or more of the lot/parcel will be landscaped, common open space.
- B. Common open space that is not a detention pond will be landscaped at a ratio of at least one (1) tree and five (5) shrubs for every 1,000 square feet, except as required for parking lot screening and buffers, which may require additional plant materials.
- C. Buffer landscaping will be provided as follows:
  - a. At least ten (10) feet wide adjacent to minor collector and local street rights-of-way.
  - b. At least twenty-five (25) feet wide adjacent to arterial streets and major collector rights of-way.
  - c. Buffers will be designed to provide one tree and five shrubs for every 750 square feet.
  - d. 25' buffer between light industrial and residential
- D. Where nonresidential, multifamily or group living uses are adjacent to existing or projected single-family residential or duplex uses, one of the following shall be provided:
  - a. A fifteen (15) foot wide on-site landscape area with berming and one (1) tree and five (5) shrubs per 600 square feet or portion thereof; or
  - b. A ten (10) foot wide on-site landscape area with one (1) tree and five (5) shrubs per 400 square feet or portion thereof with intermittent six (6) foot privacy fencing; or
  - c. A five (5) foot wide on-site landscape area one (1) tree and five (5) shrubs per 250 square feet or portion thereof with a continuous six (6) foot privacy fence.

#### **3.6.1 LANDSCAPE PERFORMANCE STANDARDS**

- A. Landscaping shall be completed prior to Certificate of Occupancy (C.O.). If landscaping cannot be completed due to cold weather the Town may grant a C.O. upon receipt of a sufficient letter of credit or cash surety and a written schedule for completion. No letter of credit or surety is required if the landscaping is to be performed by the Metropolitan District.
- B. All landscape plans for a non-residential use shall be prepared by a professional landscape architect.

#### **3.6.2 IRRIGATION SYSTEMS**

All landscape areas shall have an automatic clock-activated irrigation system - Landscape areas without an irrigation system and bearing live plant material will require temporary irrigation until the plants are established and a reliable water source sufficient to sustain plant life is provided.

- A. Irrigation systems shall meet the following criteria:
  - a. All irrigation systems shall be non-potable where possible and coordinated with the property owners' association or Metro District.
  - b. All irrigation systems shall be designed and installed to the specifications of the property owners' association or Metro District irrigation guidelines.
  - c. All potable water systems shall be equipped with a back-flow prevention device.
- B. Portions of irrigation systems may be comprised of temporary irrigation components to irrigate native areas if the Town determines that all of the following standards are met. A clear description of proposed temporary irrigation must be provided on the landscape plan and approved by the Town:
  - a. Plant selection, design, installation specifications and site conditions combine to create a microclimate that will sustain the plant material in a healthy condition without regular irrigation after the plant establishment period.
  - b. All portions of the landscaped area served by temporary irrigation will be within 150 feet of an exterior water source to enable hand watering during extended dry periods.
  - c. Above ground temporary irrigation systems shall be approved on a case-by-case basis only if the native area is large enough to warrant the use. Above ground systems will be the responsibility of the Builder until grasses are established and the system is removed. No such system shall be permitted to be turned over to a property owners' association for maintenance.
  - d. The temporary irrigation will provide reliable automated irrigation for the plants during the establishment period.
  - e. The Builder has demonstrated the ability to provide ongoing maintenance of xeriscape areas necessary to keep plant material healthy without irrigation.



### 3.6.3 SOIL AMENDMENT

Soil amendment is only necessary in planting beds and blue grass/ fescue turf areas. Where soil amendment is necessary, minimum requirements for soil preparation shall include three (3) cubic yards of organic material for 1,000 square feet of existing soil tilled to a minimum depth of six (6) inches. Regardless of existing soil conditions tree and shrub pits shall be backfilled using a mixture of one-third existing site soil, one-third topsoil and one-third organic matter.

### 3.6.4 PLANT SELECTION AND DIVERSITY

Plant selection and diversity will be per Town Standards. Tree species prohibited within the Town per Town Standards will be removed in existing landscape areas, when appropriate, and will not be planted in new landscape areas.

- A. All landscaping materials shall consist of healthy specimens compatible with local climate and meet the requirements included in these standards.
- B. The plants listed in the Town of Johnstown Landscape Standards and Specifications Appendix A should be used as a guideline for recommended use. Due to the variety of available plants, non-prohibited species that are not on the list may be planted provided they are replaced by an approved species if they fail to survive. Plants selected should be appropriate for the specific location and purpose.
- C. Up to one-third of the proposed trees for a project may be of fast-growing varieties, such as cottonless Cottonwood (*Populus sargentii*), Aspen (*Populus tremuloides*) and Silver Maple (*Acer saccharinum*). Two-thirds of the proposed trees shall be slower growing, long-lived trees, such as Norway Maple (*Acer platanoides*), Oak (*Quercus* sp.), Linden (*Tilia* sp.), Honeylocust (*Gleditsia triacanthos inermis*) and other hard Maples (*Acer saccharum* or *rubrum*). The variety shall be sufficient to minimize the effect of plant disease.
- D. Recognizing that it is undesirable to plant a large percentage of one tree species which may result in uniform disease susceptibility and eventual extinction of that species, the following diversity standards shall be required:
- E. For any one proposed development project (including common open space areas), no more than 15% of any one species of tree (for trees considered hardy in this area), or 10% of any one (1) species of tree considered marginally hardy for this area, shall be proposed. This shall be measured per total trees in the development, including existing trees.
- F. For small development projects, exceptions to the above diversity requirement may be allowable where the size of the development makes minimum diversity percentages unreasonable. A variance request is to be made by a note on the landscape plans and shall be subject to approval by the Town Planner.
- G. Coniferous trees shall comprise 25% of any landscaped area, where suitable. Unsuitable areas include areas where icy conditions may be created with the use of conifers at road intersections, road curves, bike path intersections, bike path curves site distance restricted areas or narrow areas. Locate conifers so mature spread will not overgrow streets or walks.
- H. Ornamental trees can only replace large canopy trees at a rate of three (3) ornamental trees to one (1) large canopy tree (not to exceed 25% of the total tree requirements). Fruit bearing or thorny trees shall not be permitted within five (5) feet of sidewalks or streets, as calculated from mature canopy width of tree.
- I. Shrubs shall be a mixture of evergreen and deciduous varieties. Small shrubs shall be used between the bike path and the curb along street rights-of-way to avoid safety obstructions.

### 3.6.5 STREET TREE MINIMUM STANDARDS

- A. Species that generally have branches less than fifteen (15) feet above the roadway at maturity shall not be used as street trees unless they are located such that no interference with the roadway will occur at maturity. Minor trimming and branch removal should be performed to maintain the fifteen (15) foot requirement and eight (8) foot minimum clearance over sidewalks and bike paths.
- B. Trees prohibited from planting within the Town of Johnstown include the following: cotton-bearing Cottonwood, Lombardy Poplar, Box-elder, Siberian or Chinese Elm, Russian Olive and Ash trees (*Fraxinus* spp.).
- C. Trees prohibited from planting within street right of ways include the above plus the following: Fruit and/or thorn bearing trees (prohibited from within five (5) feet of bike path as measured from edge of mature canopy), willow (all varieties), Tree of Heaven, Cottonwood (all varieties), and Silver Maple.
- D. Trees recommended for use within the Town of Johnstown include those listed in Plant Materials List found in appendix of the Town of Johnstown Landscape Guidelines.
- E. Planting sizes for required landscapes:
  - a. Deciduous shade trees: 2-inch caliper
  - b. Ornamental trees: 1-1/2-inch caliper
  - c. Evergreen trees: 6 foot – 8 foot height (with a minimum of 25% at 8 foot height)
  - d. Multi-stem ornamental trees: 8 foot – 10 foot height
  - e. Shrubs: 5-gallon container
  - f. Vines: 1-gallon container

- g. Ground cover/perennials: 2-1/4 inch pots

### 3.6.6 LANDSCAPE MAINTENANCE

Maintenance includes all reasonable and regular irrigation, weeding, weed control, fertilizing, pruning as well as removal of tree wrap and staking, and bike path snow and ice removal per standard horticultural practices and Town code. Plant materials that show signs of insect pests, diseases and/or damage shall be appropriately treated. Dead plant material will be replaced according to an approved landscape plan. An initial inspection of landscaping installation will be done at the time of development or change in use.

- A. The Builder or Metro District shall be responsible for maintaining all on-site and common landscaping as shown on an approved landscape plan or as existing if an approved landscape plan does not exist.
- B. The Builder or Metro District shall be responsible for maintaining the landscaping public improvements on all adjacent rights-of-way as shown on an approved landscape plan or as existing if an approved landscape plan does not exist, unless a maintenance agreement is reached with another entity. The Town, at its discretion, may add, remove, replace, or maintain landscaping within the right-of-way per Town standards.
- C. The Developer may request Town maintenance of arterial rights-of-way where there will not be a Metro District. The following standards shall apply:
- D. Acceptance of maintenance will be based on the determination that the public interest is served by Town maintenance.
- E. The Developer may request Town maintenance of other facilities not included above. The following standards shall apply:
- F. Acceptance of maintenance is based on the determination that the public interest is served by Metro District maintenance.
- G. Installation of all improvements shall meet or exceed Town Standards.
- H. The Builder or Metro District shall be responsible for maintaining all irrigation systems in sound condition and so all plant material receives the necessary amount of water. Leaks and other broken and/or non-performing equipment shall be repaired in a timely manner. Systems shall be periodically adjusted to eliminate water spraying onto paved surfaces. Watering times shall be regularly adjusted to meet the seasonal needs of the plants while minimizing over-watering.

## 3.7 SITE DEVELOPMENT SIGNAGE

### 3.7.1 PROJECT IMAGE

Two primary entrance signs are located at the intersection of Freedom Parkway and the Frontage Road, as well as at the main entrance into parcel D. These primary entrances are intended to create a gateway and emphasize the main entrances. The secondary entrances are intended to have less traffic and are off of Freedom Parkway. Landmark and high-image intersections help develop the character of the area. These intersections may contain showy landscaping, decorative walls, art and overall exhibit an increased decorative character than other minor intersections. By creating a hierarchy of intersections, people will be able to use the decorative elements as a way-finding device. Sign permits will need to be reviewed and approved by The Ridge DRC prior to submitting to the Town for review.

### 3.7.2 The Ridge SIGNAGE SYSTEM

All community identity signs for The Ridge will be located in signage and landscape easements and outside of the public ROW.

### 3.7.3 PRIMARY ENTRY SIGN

Primary entry signs are located at the intersections of Freedom Parkway and the Frontage Road and at the Parcel D access points along the Frontage Road

### 3.7.4 SECONDARY ENTRY SIGN

Secondary entry signs will be located along the Frontage Road.



PRIMARY ENTRY SIGN



SECONDARY ENTRY SIGN

### 3.7.5 PURPOSE

The following sign guidelines provide a language for all signage which helps to create a unified image for The Ridge. All freestanding signage within the development will bear the style and logo of The Ridge, however individual logos and graphics are allowed on the sign face. Freestanding signs located throughout the development are unified through the use of similar geometry and a repetition of a common materials palette. Building mounted signs are regulated by limiting size. However, tenant logos and graphics are allowed. The following signage requirements are congruent with Town of Johnstown Sign Code, any variations are noted.

### 3.7.6 PROHIBITED SIGNS

The following signs are prohibited:

- A. Any sign which would violate sight distance triangle requirements.
- B. Any nonpublic sign on the right-of-way or on a property other than that which it advertises.
- C. Any sign which, even though in general conformance with the standards and requirements of this sign code, is a dangerous sign due to interference with a traffic control device by being in direct line between the control device and oncoming traffic or otherwise in visual competition with a traffic control device or resembling a traffic control device.
- D. Any sign that is erected in such a location as to interfere with motor vehicle traffic.
- E. Any sign employing a lighting or control mechanism which causes radio, radar, television, or telecommunication interference.

- F. Any sign so erected, constructed or maintained as to obstruct or be attached to any fire escape, window, door or opening used as a means of egress or ingress or for firefighting purposes, or any sign so placed as to interfere with any opening required for light or ventilation.
- G. Flashing, blinking or other moving signs and searchlights/klieg lights.
- H. Animated signs, including revolving, whirling, twirling or any other sign which uses motion, either implied or actual, except that barber poles (not exceeding five (5) feet in length which are not roof-mounted), windmills and time and temperature signs are permitted.
- I. Structurally unsafe signs as determined by the chief building official, based upon criteria established in the adopted Town codes.
- J. Roof signs.
- K. Box signs.\*
- L. Wheeled advertising devices, except for currently licensed, operative vehicles which are primarily used by their owners for service, delivery or general transportation on a regular basis.
- M. Any merchandise displayed outside of a building in such a way as to attract attention when viewed by the general public by placement upon a pole, a fence, a platform, roof or other similar device or structure shall be considered as a sign and shall be prohibited unless otherwise approved by the Planning and Zoning Commission. This shall not, however, be construed to prohibit merchandise customarily stored outside of buildings and placed upon shelves or tables, such as automobiles, campers, boats, plant materials, produce or lumber.
- N. Monopole signs
- O. Any sign regulated by the State of Colorado Department of Transportation rules and regulations pertaining to outdoor advertising not approved by the CDOT. (Ord. 682, § 1, 2001)

\*Varies from Town of Johnstown Sign Code.

### **3.7.7 SIGN AREA MEASUREMENT AND ALLOWANCES**

*(Allowable sign areas and sizes shall be per the standards listed below)*

- A. Animated:
  - a. Size of sign is based upon the sign type (i.e., freestanding, wall or projecting)
- B. Arcade:
  - a. Maximum Height cannot exceed bottom of eave, balcony, canopy, awning or other structural overhang or passageway to which it is attached.
  - b. Minimum height, seven (7) feet above grade.
  - c. Maximum one (1) per building entrance for nonresidential uses.
  - d. Maximum area, four (4) square feet for nonresidential uses.
  - e. Must be placed on an approved wall area.
- C. Awning Sign:
  - a. Permitted on the bottom eighteen (18) inches of 1st floor awnings.
  - b. Allowed at 0.5 square feet per linear foot of awning.
  - c. Maximum of twelve-inch letter height.
  - d. Maximum of one (1) per awning.
  - e. Must be located on an approved wall area.
  - f. May be illuminated.
- D. Bulletin Boards:
  - g. Nonresidential, nonagricultural and multiple-family uses only.
  - h. Maximum area, thirty-two (32) square feet.
  - i. Maximum height, eight (8) feet.
  - j. Maximum one (1) per street frontage.
  - k. Must be set back a minimum of ten (10) feet from any private property line and from a public right-of-way; one (1) foot setback for signs up to six (6) feet in vertical height; one (1) foot for every foot of height greater than six (6) feet.
- E. Freestanding residential districts:
  - a. Permitted in residential zones only.

- b. Maximum sign area is one hundred (100) square feet.
- c. Maximum of one (1) per street frontage, said street being on the boundary of the development.
- d. Maximum height all residential districts, six (6) feet.
- e. Maximum height in all multiple family use districts, twelve (12) feet.
- f. Must be set back from any private property line and from a public right-of-way one (1) foot setback for signs up to six (6) feet in vertical height; one
- g. (1) foot for every foot of height greater than six (6) feet.
- h. May be illuminated.

F. Residential development entryway signs:

- a. One (1) for each major entryway;
- b. Not to exceed twenty (20) square feet in area or six (6) feet in height; Freestanding-type signs must be set back onto the property a minimum of ten (10) feet, unless incorporated into a traffic island entrance, then twenty-five (25) feet back from the face of the street curb and three (3) feet from the edge of the traffic island;
- c. Fence or wall-incorporated-type signs may be placed parallel with and at the property line following the same height and sight distance requirements as for a wall or fence.
- d. Subject to a revocable permit in favor of the Town if situated in the right-of-way.

G. Freestanding nonresidential districts:

- a. Maximum height: Twenty-five (25) feet.
- b. Maximum number of signs per development: one (1) per street frontage, not to exceed two (2) per development, except as may be permitted by a master sign plan approved by the Board of Trustees.
- c. All such signs shall be set back from the property line a distance equal to the height of the sign, except a sign six (6) feet in height shall be set back from the property line a distance of one (1) foot.

H. Maximum sign area, based upon the following table:

<b>Maximum Sign Area</b>		
<b>Floor Area of Building</b>	<b>Single Use Development</b>	<b>Multiple Use Development</b>
0-1,500 s.f.	35 s.f.	60 s.f.
1,500-5,000 s.f.	35 s.f. plus 1 s.f. per each additional 50 s.f. of floor area over 1,501	40 s.f. of floor area over 1,500
5,000-50,000 s.f.	100 s.f. plus 1 s.f. per each additional 1,000 s.f. of floor area over 50,001 up to a maximum size of 300 s.f.	300 s.f. plus 1 s.f. per each additional 1,000 s.f. of floor area over 50,001 up to a maximum size of 400 s.f.

I. Illuminated signs:

- a. Within one hundred (100) feet of residential use or district, internal lighting only.
- b. Over one hundred (100) feet from a residential district, any type of lighting source is allowed, except search or flashing lights, or directed so that the light shall not adversely affect surrounding premises or safe vision on public or private roadways, including highways.

J. Portable signs:

- a. A-frame or pedestal style only;
- b. Maximum area: Six (6) square feet;
- c. One (1) per street frontage;
- d. Must be set back a minimum of ten (10) feet from the street right-of-way line if over forty-two (42) inches or two (2) feet if forty-two (42) inches high or less;
- e. Must be anchored to the ground or weighted sufficiently to prevent movement by force of wind.
- f. May not interfere or block pedestrian or vehicular traffic.

- K. Projecting signs:
  - a. Maximum height: top of wall or parapet; not to be roof-mounted;
  - b. Maximum projection: Shall be in accordance with building codes, requirements for "Construction in Public Right-of-Way."
  - c. Maximum size: Two (2) square foot for each one (1) foot of height of the building wall to which the sign is to be attached;
  - d. Projecting and wall sign not permissible on same wall;
  - e. Maximum number: One (1) per street frontage.
  
- L. Public information signs:
  - a. As defined with the approval of the Town Administrator or designee.

### 3.7.8 TEMPORARY SUBDIVISION SIGNS

- A. Temporary model home signs:
  - a. One (1) per model home;
  - b. Not to exceed twelve (12) square feet each and not over six (6) feet in height if a freestanding type; and
  - c. Must be set back from property lines a minimum of ten (10) feet or a distance equal to height, whichever is greater.
  - d. Temporary residential subdivision signs.
  - e. Temporary signs are prohibited upon public rights-of-way. Temporary signs found by an enforcement officer to be located within Town rights-of-way shall be removed by such enforcement officer with no requirement of notice.
  - f. Construction signs shall not exceed thirty-two (32) square feet and twelve (12) feet in height. One (1) per street frontage is allowed between the time a building permit is issued and the time a certificate of occupancy is obtained.
  - g. Political and real estate signs may be located on property only by permission of the landowner.
  
- B. Temporary commercial/industrial signs:
  - a. Banners are permitted for any non-residentially zoned or used property to advertise special events or sales subject to the following provisions:
  - b. May be placed upon a building wall or roof or a fence but shall not be attached to landscaping, freestanding posts or utility poles;
  - c. The total size allowed for any single banner or total combination of multiple banners shall be determined using the same criteria that applies to wall signs. If the banner is to be affixed to a fence, size shall be the same as if it was attached to the nearest adjacent building wall having street frontage;
  - d. Any banner that becomes discolored, ragged, shredded, detached, etc., shall be removed or repaired.
  - e. Pennants that project a maximum of four (4) feet from the building are allowed on retail, entertainment or service commercial buildings, and only as part of an approved special district sign program. All pennant faces shall be counted as part of the total allowable sign area. Pennants located on light fixtures are allowed only by The Ridge management group.
  - f. Under canopy signs
  - g. Minimum clearance from the sidewalk is eight (8) feet.
  - h. One (1) sign per frontage.
  - i. Not counted against other allowed signage.
  
- C. Wall or painted:
  - a. Maximum area to be no larger than two (2) square feet for every linear foot of the side of the building having a public entrance and facing a public street, alley or parking lot to which it is affixed. Signs affixed to attached or detached canopies and marquees or awnings shall be considered wall signs and shall be calculated based upon the length of the wall to which they are attached or adjacent.
  - b. Each ground floor tenant or use shall have the right of wall signage upon any wall which fronts upon a public street, or if not fronting upon a public street, upon any wall which fronts upon a major interior drive having direct access to a public street. For uses that have a rear entry or delivery door, one (1) non-illuminated wall sign per use, not to exceed ten (10) square feet, is permitted.
  - c. For buildings with flat roofs, wall signs shall not extend above the top of parapet or mansard, shall not extend more than three (3) feet above the deck line.
  - d. May not extend more than fifteen (15) inches beyond the surface of the wall and may not extend beyond the side of the wall.
  - e. Commercial, industrial, multiple-family, public and semipublic uses only.
  - f. Cannot be used on the same wall as a projecting sign.
  - g. Must be placed on an approved wall area.

### 3.7.9 FREESTANDING SIGNS

- A. Retail:
  - a. Single tenant signs are highly discouraged, commercial/retail uses should be combined into an overall sign with multiple tenants where possible. When single tenant signs are necessary, provide a smaller version of a sign that is sympathetic to the intent of the design shown. Individual user logos may be used; however they should be sized uniformly or in a proportional manner (i.e. Large tenant size, Small tenant size half the proportion of the large tenant.
  - b. Office/Flex/Light Industrial: Signs shall be uniform in size and colors shall be contained within an earth-tone palette. The Ridge base shall be used. However, the sign area may be customized to fit the needs of the user. Each parcel is allowed one identification sign unless approved by the DRC and JRC.
- B. Residential Identity Signs:
  - a. Individual residential developments shall use materials within the materials palette and should design elements complementary to The Ridge signage.
- C. Fuel/Convenience Store Canopy Signs
  - a. Signs on canopies associated with fuel/convenience stores shall be limited to one corporate with associated text or business logo of the principal use only on a maximum of two (2) sides of the canopy. Such logos shall have a vertical dimension of no greater than 75% of the vertical dimension of the canopy fascia and shall be no greater than twelve (12) square feet per logo.
- D. Regulatory Signs
  - a. Regulatory signs shall follow the guidelines established in the Town of Johnstown Design Criteria and Construction Regulations.

### 3.7.10 OTHER DISPLAY AND INFORMATIONAL ELEMENTS

- A. Banners:
  - a. Retail uses are allowed one (1) banner per building, not-to-exceed seven (7) days in a six-month period. Office, Light Industrial and other Commercial uses are allowed a one (1) day special event directional sign announcing open house/grand opening events.
- B. Window Signs:
  - a. Window painting is not allowed. Each business will be allowed one (1) "OPEN" neon sign. No other neon signs are allowed, except as specifically approved by the DRC and JRC. No decals or signs may be installed in doorways, windows or other areas visible to the public view from the exterior of the premises. The real estate window sign is intended for use where leasable office space is available.
- C. Building Entry Information:
  - a. If applicable, each business shall be allowed to post building or occupant names, hours of operation, emergency information, delivery hours and other required notices near its main exterior entrance on a wall or adjacent glass side-light adjacent to main entry doors. Maximum letter height shall be one (1) inch for basic information. Name of the building or occupant may be three (3) inches tall. Logos shall be a maximum of six (6) inches tall. All type must fit within a maximum 2 feet by 2 feet area. Type style shall be consistent with other building signs.
  - b. Wall mounted information shall be applied to a panel that is compatible with the surrounding wall treatments. The panel area shall not exceed four (4) square feet.
  - c. Buildings that provide service entrances shall be allowed an additional sign on or adjacent to each delivery door. Information shall be limited to a four (4) square feet area and design shall be consistent for all exterior doors of the building.
- D. Flags:
  - a. Flag poles shall be a minimum height of twenty (20) feet tall and a maximum height of thirty (30) feet. Only properly maintained national and/or state flags are allowed. The town of Johnstown will not be responsible for the enforcement of flags. Enforcement will be by the property owners' association (if any exists) or Metro District.

### 3.8 SITE FURNISHINGS

#### 3.8.1 SITE FURNITURE

Shall be complementary to the architecture, and if part of a larger complex of buildings, complementary with the other site furnishings in that complex. Site furniture for the overall The Ridge site should be similar or complementary with the following examples shown pending approval of the DRC and JRC.

#### 3.8.2 ART

Art in public places is highly encouraged. The proposed piece must be vandal resistant, appropriate subject material for public viewing, and complementary with the theme, materials, and colors of The Ridge as determined by the DRC and JRC.



#### 3.8.3 FENCING & WALLS

Fencing materials such as simulated rod iron and / or concrete or masonry may be required depending upon screening needs and compatibility with adjacent uses. No wood retaining walls are allowed (nonresidential only). Fencing and walls shall match building architecture. All fences and walls subject to DRC and JRC approval.

#### 3.8.4 LIGHTING

- A. The lighting design concept for The Ridge uses decorative lighting to enhance the main entries of the development.
- B. All light sources shall be contained in cut-off fixtures that obscure the source from direct view. Pedestrian-scale lighting that has secondary decorative visible light source may be acceptable provided it does not produce glare.
- C. Up-lighting is acceptable as long as they are subdued and angled towards surfaces and not lit straight into the sky. No searchlights are permitted.
- D. Street light poles and fixture housing shall be black in color. All roadway lighting should be of the same family of style, and all parking lot lighting shall have a color temperature of 4000 Kelvin and be of the same family of style; however, roadway and parking lot lighting need not match.
- E. Temporary lighting – Holiday lighting only November 1 through January 31. No “chasing” lights (Nonresidential only).
- F. Minimize lighting in parking areas when not in use.
- G. All lighting is subject to approval by DRC and JRC.
- H. Unless sharing parking lots & drives, all lighting shall be contained within the subject property, and shall not spill over onto adjacent property.



Minimum / Maximum allowable lighting (per IESNA standards):

Non-residential building, surrounding area, and parking	1.0 / 7.0 footcandles
Residential building surrounding and parking	0.1 / 0.5 footcandles
Under canopy fueling areas and drive-ups	5.0 / 25.0 footcandles



## 3.9 RETAIL BUILDING DESIGN STANDARDS

The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the predominant architectural character of such areas.

### 3.9.1 RETAIL DEVELOPMENTS

These guidelines apply to high-visibility neighborhood, community and regional-scale commercial areas, including retail, professional services, lodging, hospitality uses, outdoor family entertainment, restaurants and related uses, and contain additional information on how to place and design structures, sites and landscapes. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in General Design Guidelines and are supplemental to the requirements in this section.



### 3.9.2 BIG BOX RETAIL STORE DESIGN

Compatibility may be achieved through techniques such as:

- A. Repetition of roof lines.
- B. Use of similar proportions in building mass and outdoor spaces.
- C. Similar relationships to the street.
- D. Similar windows and door patterns.
- E. Building materials with similar colors and textures.
- F. Select buildings that have unique, high quality architecture associated with a brand, or that serve as an architectural focal point that may be allowed in otherwise "themed" developments if they are determined to add interest and vibrancy to the rest of the development.
- G. Treat all facades of a building with similar materials

### 3.9.3 ROOF AND TOP TREATMENTS

- A. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- B. The average parapet height may not exceed 15% of the supporting wall height.
- C. Vary parapet and/or roof heights to add interest and consider the use of overhangs and cornice features for decorative interest.
- D. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- E. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- F. Large sloped roofs must have variations in height or offsets to break up the large plane- maximum 50 linear feet of one plane.

### 3.9.4 FREESTANDING STRUCTURES / ELEMENTS

- A. Gas canopies shall not be taller than seventeen (17) feet and should match the principal building architecture. Support columns should relate to the building architecture in finish materials and scale.
- B. Vending machines/kiosks must be incorporated into nooks or other features integral to the main building.

### 3.9.5 MATERIALS AND COLORS

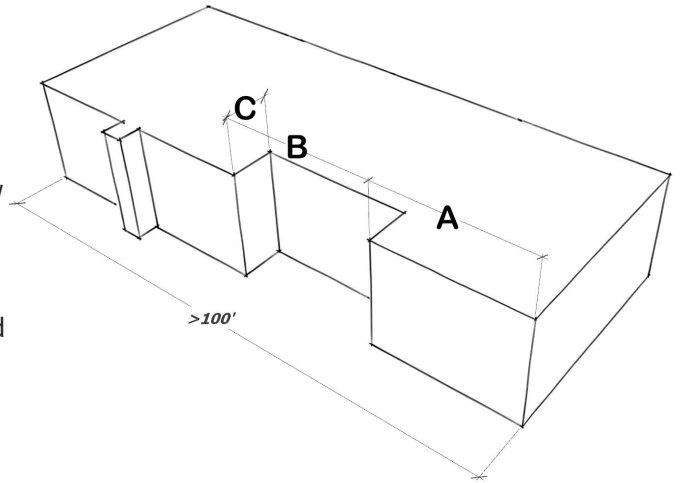
- A. Primary facade and roof colors shall have a low reflectance, and be a subtle, neutral or
- B. Earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
- C. Trim and accents may be brighter colors, including primary colors. Vivid colors shall be used sparingly (10% or less of a facade on buildings less than 20,000 sf and 7% on buildings larger than 20,000 sf). Vivid colors are defined as bright colors, such as primary colors.
- D. Preferred predominant facade materials include: brick, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt- up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
- E. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or

other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.

- F. Prohibited predominant materials are smooth-face concrete block and uninsulated, non-textured flat metal panels. These materials may be used as accent but shall occupy no more than 35% of a facade.

### 3.9.6 FACADES

- A. Facades must include a repeating pattern at intervals of no more than 50 linear feet that shall include a change in plane no less than one (1) foot in width such as an offset, reveal or projecting rib.
- B. Facades greater than 100 feet in length shall incorporate wall plane projections or recesses having a depth of at least 3% of the length of the facade and occupy at least 20% of the length of the facade.
- C. Where principal buildings contain separate stores with separate exterior entrances that occupy less than 25,000 square feet of the gross floor area, the street level facade shall be transparent between the height of three (3) feet and eight (8) feet above the adjacent walkway grade for no less than 60% of the building facade of the separate store.
- D. Building facade proportions:
- Max. 30% of facade length or 100' without interruption
  - Min. 20% of facade length
  - Project or recess 3% min. of facade length



### 3.9.7 BUILDING ENTRANCES

- A. Each building shall have clearly defined customer entrances with no less than two (2) of the following;
- Canopy, arcade or portico
  - Overhang or recess
  - Raised corniced parapet
  - Peaked roof or arch
  - Architectural detail such as columns, tile work, stone, detailing or moldings integrated into the building structure
  - Integral planters or wing walls and incorporate landscaped areas and/or places for sitting
  - Display windows



## 3.10 DESIGN STANDARDS FOR VEHICLE SALES AND SERVICE ESTABLISHMENTS

- A. Building footprint should be a minimum of 10% of the parcel size and building should be permanent
- B. Total acreage of all motor vehicle dealerships within The Ridge shall not encompass a total of more than thirty five (35) acres of land unless the Town and the Developer consult and agree to any additional area.
- C. Parking requirements for automobile sales and service establishments are a maximum of one (1) parking space per 75 square feet of G.L.A. Site design should accommodate provisions for pedestrians through the frontage spaces and other locations where customers are anticipated to park. All parking areas, including for-sale cars and parking for vehicles to be serviced, shall be designed according to the parking and landscaping standards contained in these design guidelines. No cars shall be parked outside of designated striped parking areas.
- D. All automobile service areas must adhere to screening requirements as designated in these design guidelines

## 3.11 DESIGN STANDARDS FOR OUTDOOR & FAMILY ENTERTAINMENT

- A. Outdoor and Indoor family entertainment is defined as a smaller amusement park geared towards family fun. Family entertainment centers, or FEC's as they're commonly called, are generally smaller and cost less than a traditional amusement park. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section. Common attractions include, but are not limited to:

Bumper boats	Bowling
Go-Karts	Batting cages
Music and dancing	Laser tag
Miniature golf	Indoor children's play equipment
Video game arcade	Banquet facilities
Ground level kiddie rides	Meeting rooms
Mild thrill rides	Outdoor event areas
Snack bar/restaurant	Water slide
Golf / driving range	

- B. It is required that specific photographs with dimensions be provided to illustrate all vertical elements on site. A site plan identifying these vertical elements must be submitted with the photographs.
- C. Lighting: The lighting allowed for attractions may be modified from the other standards in the Design Guidelines due to safety concerns. To the extent possible, the same fixtures should be used for the lighting of attractions as are used elsewhere in The Ridge. The lighting design should keep the lighting contained within the attraction.
- D. Safety and Boundary Restraints: It is understood that safety of guests and employees is paramount in the design and operation of attractions. For example, boundary restraints are required on the go cart track for safety purposes. The use of vinyl coated chain link fence rather than netting in areas that require reinforcement such as batting cages is necessary and appropriate to provide a safe environment for patrons. The allowable design solutions for safe operation of attractions shall take into account state of the art design and materials, usual and customary industry practices, safety, maintenance, and appearance. The DRC and JRC shall have the discretion to decide whether a design solution or improvement meets the intent of the design guidelines on a case by case basis. In considering the appropriate solution for inclusion in a proposed project, applicants shall advise the DRC and JRC of the best currently available and affordable design or practice, irrespective of whether it is incorporated in their proposed solution.
- E. Architecture: The design of attractions and accessory buildings may take many forms to create the necessary effect within a Family Entertainment Use. Given the wide variety of attractions that could be proposed, the DRC and JRC will consider the concepts inherent in an applicant's business model. The DRC and JRC recognize that such attractions may not fit within the architectural guidelines applicable to other uses in The Ridge. The DRC and JRC will have oversight as to which attractions and accessory buildings are allowable given the size, location and nature of the attraction and discretion to decide whether a proposal is acceptable within the development.

**3.12 OFFICE / FLEX / LIGHT INDUSTRIAL/ ENCLOSED CLIMATE CONTROLLED STORAGE**

- A. These guidelines apply to: single and multi-tenant office buildings; multi-tenant, single-story structures designed as flexible space for offices, light industrial and professional services; and single-tenant light industrial or research and development type uses. The guidelines contain additional information on landscaping and how to design structures. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section.
- B. Building Design - Compatibility with Existing Development and Site Design
  - a. The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the established architectural character of such areas. Compatibility may be achieved through techniques such as:
    - b. Repetition of roof lines.
    - c. Use of similar proportions in building mass and outdoor spaces.
    - d. Similar relationships to the street.



- e. Similar windows and door patterns.
- f. Building materials with similar colors and textures.
- g. Site design for flex uses should incorporate, where possible, central, common service/ loading areas.
- h. Treat all sides with similar materials.

C. All facades of a building shall have similar materials - Materials and Colors

- a. Primary facade and roof colors shall have a low reflectance and be a subtle, neutral or Earth-toned color. Earth- tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
- b. Trim and accents of brighter colors, including primary colors, are allowed.
- c. Vivid colors shall be used sparingly (3% or less of a facade). Vivid colors are defined as bright colors, such as primary colors.
- d. Preferred predominant facade materials include: glazing, brick, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
- e. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality Aluminum Composite Material Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
- f. Prohibited predominant materials are smooth-face concrete block, full ceramic walls, and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.
- g. Corrugated Metal Panel shall occupy no more than 25% of a facade.

D. Facades that face a street or parking area shall not have a blank, uninterrupted length exceeding 100 feet without including at least two (2) of the following:

- a. Change in plane
- b. Change in color
- c. Change in texture or pattern
- d. Windows
- e. Columns, piers or equivalent element that subdivides the wall
- f. Facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 30% of the length of the facade.

E. Building Entrances - Primary building entrances shall have clearly defined and provide shelter from the sun, wind, rain and snow, and include two (2) of the following:

- a. Canopy, arcade or portico
- b. Overhang or recess
- c. Raised corniced parapet
- d. Peaked roof or arch
- e. Architectural detail such as columns, tile work, stone or moldings integrated into the building structure
- f. Integral planters or wing walls and incorporate landscape areas and/or places for sitting
- g. Special landscape or site feature

F. Roof and Top Treatments

- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- b. The average parapet height may not exceed 15% of the supporting wall height.
- c. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- d. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- e. Large sloped roofs must have variations in height or offsets to break up the large plane with a maximum 100 linear feet of one plane.
- f. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.

G. Accessory Buildings

- a. Shall be of the same character and materials as primary buildings.

### 3.13 WAREHOUSING & DISTRIBUTION

- A. These guidelines apply to warehousing and distribution uses, which typically have a comparatively high volume of truck traffic, multiple loading docks and large volume spaces for material or product storage. Indoor light manufacturing uses that possess these characteristics are also subject to these guidelines. The guidelines contain additional information on landscaping and how to design structures. Requirements regarding the overall design and construction of sites, parking lots, roads, streetscapes, parks, open space areas are included in the Outline Development Plan and these Guidelines and are supplemental to the requirements in this section.
- B. Landscaping
- a. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers described in Section 3.5.
- C. Architecture
- a. Compatibility with Existing Development
  - b. Treat All Sides with similar materials
  - c. Materials and Colors
  - d. Primary facade and roof colors shall be a low reflectance and subtle, neutral or earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
  - e. Trim and accents of brighter colors, including primary colors, are allowed. Vivid colors are defined as bright colors, such as primary colors.
  - f. Preferred predominant facade materials include: glazing, brick, native or cultured stone, tinted and textured concrete masonry units, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color.
  - g. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
  - h. Prohibited predominant materials are smooth-face concrete block, full ceramic walls and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent, but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.
  - i. Facades that face a street or public parking area shall not have a blank, uninterrupted length exceeding 100 feet without including at least two (2) of the following:
    - Change in plane
    - Change in color
    - Change in texture or pattern
    - Glazing
    - Columns, piers or equivalent element that subdivides the wall
  - j. Publicly visible facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 30% of the length of the facade.
  - k. Building Entrances - Primary public entrances shall be defined and provide shelter from the sun, wind, rain and snow, and include one (1) of the following:
    - Canopy, arcade or portico
    - Overhang or recess
    - Raised corniced parapet
    - Peaked roof or arch
    - Architectural detail such as columns, tile work, stone or moldings integrated into the building structure
    - Integral planters or wing walls and incorporate landscaped areas and/or places for sitting

#### D. Roof and Top Treatments

- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- b. The average parapet height may not exceed 15% of the supporting wall height.
- c. Vary parapet and/or roof heights to add interest and consider the use of overhangs and cornice features for decorative interest.
- d. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- e. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- f. Large sloped roofs must have variations in height or offsets to break up the large plane with maximum 100 linear feet of one plane.
- g. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.

#### E. Accessory Buildings

- a. Shall be of the same character and materials as primary buildings.
- b. No pre-engineered metal buildings.

## 3.14 SINGLE FAMILY RESIDENTIAL

---

### 3.14.1 Single Family Detached Residential Site Design

- A. Strategic views of the mountains and other natural features shall be encouraged in the development.
- B. Minimum sizes are regulated for estate and single-family lots and houses.
- C. Pedestrian circulation should be continuous throughout the development and connect to adjacent attractions.
- D. Outdoor recreation opportunities for children and their parents should be provided.
- E. Entryways to the neighborhood should be emphasized with signage, fencing, walls and/or landscaped medians.
- F. Homes should be varied in location along lots to create variety along the street.
- G. Landscape plans shall be designed by a landscape design professional. See section 3.5.9 for landscape standards.
- H. Landscaping to be installed as soon as weather permits, but in any event no later than six (6) months after a home is closed by initial buyer.
- I. Perimeter fencing shall be two-rail, post and dowel wood. "Mesh" type material will be allowed on the inside of the perimeter fencing. Other types of fencing may be allowed with DRC and JRC approval.
- J. Neighborhoods should have, at a minimum, six (6) foot privacy fencing along arterial and collector streets. Preferred arterial fence type is 1x6 cedar pickets with top and bottom rail and 36 inch masonry columns with pitched cap every 100 feet. Arterial fencing should noticeably deviate away from the straight fence line to create small landscaped "pockets". Opportunities include entryways, street corners or fencing that runs over 600 feet. These pockets may be located within easements to allow consistent irrigation and maintenance along with the arterial landscaping.
- K. Free-standing flag poles are not allowed. One wall-mounted bracket per home shall be allowed.
- L. All elevations are also subject to Town staff approval prior to permit.

### 3.14.2 RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS

#### A. General Conditions for Single Family Residential

- a. Housing model variety is strongly encouraged and each housing model shall have at least three (3) characteristics which clearly and obviously distinguish it from other housing models. The characteristics shall include different floor plans, exterior elevations, exterior materials, roof lines, garage placement, and the placement of the footprint on the lot and/or building face.
- b. To the extent feasible every front facade shall face the street and all units shall provide for a walk (hard surface) connection to the public walk system.
- c. The Builder shall provide each residence with a rear patio from the back door of the building.

#### B. Front Elevation

- a. The front facade elevation shall consist of a mix of materials to provide an interesting and pleasing residential unit and streetscape.
- b. The front facade shall include a minimum of 20% stone or brick. The garage door, front door and windows shall not be included in the calculation for percentage.
- c. The color of all exterior materials will be subdued to blend with the colors of the natural landscape. Muted earth tones, primarily in hues of tan,

brown, charcoal, or gray, or variations of blues, yellows, and greens are recommended. Accent colors used judiciously and with restraint may be permitted including white clad windows and entry doors or an accent color for the entry / front door and peak area may be used. A maximum of three colors each for the field, base and trim is encouraged. Light tones which unduly contrast with the surrounding landscape may be prohibited by the DRC.

#### C. Front Porches

- a. It is encouraged to provide a front porch or a well-defined entry for all residential homes.
- b. A front porch shall have a minimum depth of 4'-0" (as measured from the front facade to the posts, railings and spindles) and a minimum length of 4'-0".
- c. A front porch can intrude 4' into setback but must remain outside the utility easement.
- d. Posts and railings or a short "sitting wall" shall enclose all porches with a floor elevation more than 30 inches above finish grade.
- e. A well-defined front entry shall be a minimum of 4 feet wide and 4 feet deep. The width of the entry at its outer opening shall be a minimum of 2 feet wider than the width of the entry door, unless a Variance is approved under Section 1.9.

#### D. Garages

- a. If a three car garage is to be built, then one garage bay will be offset from the primary facade of the dwelling or a covered porch by at least two feet.
- b. With car garage doors that are visible as part of front building elevations, shall not comprise more than sixty five (65) percent of the ground floor street-facing linear building frontage. Corner lots are exempt from this condition. Three car garages may comprise a higher percentage.
- c. Each detached single family dwelling shall include an attached or detached two car garage and may include a larger garage up to three (3) garage doors only. Tandem parking within the garage is allowed.
- d. Garage doors will be detailed with grids or panel patterns, and/or windows with decorative trim features. Garage colors will be complementary in color and design to the house exterior. Other DRC solutions to mitigate the impact of garage doors may be considered if approved by the DRC.
- e. Garage doors may be located on another side of the dwelling (side loaded) provided that the side of the garage facing the street has windows or other DRC features that mimic the features of the living portion of the dwelling.
- f. Tapering driveways at the street curb unless the driveway is of sufficient length to allow vehicles to park in the driveway without blocking access to other garage doors shall be discouraged.

#### E. Roofs

- a. Residences shall have exterior elevations, roofs, and details that are coordinated and consistent in their architectural treatment
- b. Multiple axis roof lines to reduce building scale and increase individuality and diversity shall be encouraged.
- c. Roof pitches of 5/12 shall be encouraged for the dominant roof surface, except where styles incorporate flat or lower pitched roof design as an expression of deliberate architectural appearance.
- d. Eave lines that vary vertically to improve visual quality and break up building mass shall be encouraged.
- e. High-profile/random asphalt shingles with a minimum of a 30 year life shall be used. Three (3) tab asphalt shingles are not allowed. Weather wood, or similar tone colors, or other complementary shingle color for the paint scheme for the unit shall be used.
- f. Other roofing materials shall be approved on an individual case basis and may include, but is not limited to metal, concrete, tile or simulated fiberglass cedar shake shingle roofs in earth tones, shall be encouraged.

## 3.15 Multi-Family Residential

---

#### A. Density

- a. Minimum density in multi-family residential shall be 24 dwelling units per acre.

#### B. Landscaping

- a. Exposed sections of building walls that are visible from public areas or high use areas on private property shall have planting beds at least six (6) feet wide along a minimum of 50% of the length of the wall. Provide one (1) tree within 50 feet of the structure for every 50 lineal feet of building face. Exact locations and spacing may be adjusted at the option of the owner to support patterns of use, views, and circulation as long as the overall tree planting minimum requirement is met. The planting beds and trees may be counted towards meeting the requirements for landscaping and buffers.

### C. Building Design

- a. Compatibility with Existing Development and Site Design - The design of new structures in or adjacent to existing developed areas shall be compatible with or complementary to the established architectural character of such areas. Compatibility may be achieved through techniques such as:
  - b. Repetition of roof lines.
  - c. Use of similar proportions in building mass and outdoor spaces.
  - d. Similar relationships to the street.
  - e. Similar windows and door patterns.
  - f. Building materials with similar colors and textures.
  - g. Site design for flex uses should incorporate, where possible, central, common service/ loading areas.
  - h. Treat all sides with similar materials.
  - i. Multi-family building facades shall be articulated with porches, balconies, bays or other offsets.
  - j. Accessory buildings should be similar in character and materials as primary buildings.
  - k. All facades of a building shall have similar materials.

### D. Materials and Colors

- a. Primary facade and roof colors shall have a low reflectance and be a subtle, neutral or Earth-toned color. Earth-tone colors are suggested to be beiges, taupes or browns. Neutral colors are defined as whites, grays or charcoal color values.
- b. Trim and accents of brighter colors, including primary colors, are allowed. Vivid colors shall be used sparingly (3% or less of a facade). Vivid colors are defined as bright colors, such as primary colors.
- c. Preferred predominant facade materials include: glazing, brick, cementitious siding, native or cultured stone, tinted and textured concrete masonry units, architectural precast concrete panels, site cast tilt-up concrete, stucco, synthetic stucco, high quality insulated metal panel or ACM panels that have colors & textures to mimic smooth or textured stucco surfaces. Exposed concrete shall have an attractive texture and/or color. 40% of the front facade or the entire first floor (whichever is greater) shall be masonry (stone (manufactured or real) or brick).
- d. Optional predominant facade materials include: high quality architectural insulated metal wall panels that mimic the texture & appearance of stucco or other appropriate finishes. In addition, high quality ACM Metal Panel such as Alucabond or Reynobond are allowed as a primary material given they are architecturally appropriate to the overall design aesthetic.
- e. Prohibited predominant materials are smooth-face concrete block, full ceramic walls, and pre-fabricated uninsulated, non-textured, flat metal panels. These materials may be used as accent but shall occupy no more than 30% of a facade. Glazing with reflectivity or opacity higher than 60% is strictly prohibited.

### E. Facades that face a street or parking area shall not have a blank, uninterrupted length exceeding 50 feet without including at least two (2) of the following:

- a. Change in plane.
- b. Change in color.
- c. Change in texture or pattern.
- d. Windows.
- e. Columns, piers or equivalent element that subdivides the wall.
- f. Facades greater than 150 feet in length shall incorporate wall plane projections or recesses having a depth of at least 2% of the length of the facade and occupy at least 20% of the length of the facade.

### F. Building Entrances - Primary building entrances shall be clearly defined and provide shelter from the sun, wind, rain and snow, and include two (2) of the following:

- a. Canopy, arcade or portico.
- b. Overhang or recess.
- c. Raised corniced parapet.
- d. Peaked roof or arch.
- e. Architectural detail such as columns, tile work, stone or moldings integrated into the building structure.
- f. Integral planters or wing walls and incorporate landscaped areas and/or places for sitting.
- g. Special landscape or site feature.

### G. Roof and Top Treatments



- a. Rooftop mechanical equipment must be non-obtrusive, screened from view or designed to be integral components of the building. Design is subject to DRC and JRC approval.
- b. The average parapet height may not exceed 15% of the supporting wall height.
- c. Maximum height or any portion of a parapet shall not exceed 1/3 of the supporting wall height.
- d. Sloping roofs, where they occur, shall range between 4/12 and 12/12 slopes.
- e. Large sloped roofs must have variations in height or offsets to break up the large plane with a maximum 100 linear feet of one plane.
- f. Larger roof elements, when used as an architectural expression are allowed on a case by case basis.

#### H. Accessory Buildings

- a. Shall be of the same character and materials as primary buildings.

## 4.0 Definitions

**Animated sign** - A moving sign that utilizes motion, implied or actual, in a horizontal or vertical plane or both. The only animated type of signs that are permitted are "time and temperature" and "barber pole" signs.

**Awning** - A temporary hood, cover or shelter which may be fixed or retractable, and which projects from the exterior wall of a building over a window, walk, door or similar building feature. An awning is often constructed of fabric, metal or glass and is not supported by the ground.

**Berm** - An undulation in terrain creating a new landform within a landscape to be utilized for wind protection, screening or a point of focal interest.

**Buffer** - The use of open space, architecture, or landscape materials to minimize the visual and/ or noise impacts of development.

**Building** - Any structure used, designed or intended for the roofed shelter, enclosure or protection of persons, animals or property.

**Builder** - Builder shall be any purchaser, assignee, or transferee of Developer.

**Canopy** - A roof-like structure serving the purpose of protecting vehicles and/or pedestrians and which may be freestanding or attached to a building, is provided with supports, and is open on three (3) sides if attached and on all sides if freestanding.

**Clinic, medical or dental** - Offices organized as a unified facility to provide medical or dental treatment as contrasted with an unrelated group of such offices, but not including bed-patient care.

**Development** - A single lot, parcel or tract of land or portions or combinations of lots, parcels or tracts of land which are held in single or common ownership and which exist as a distinct functional entity. Multi-use buildings and multiple building complexes which are held in singular or common ownership, either by individual, corporation, partnership or other legally recognized entity, shall be considered a development for the purpose of signage.

**Developer** - The Developer is J-25 Holdings, LLC.

**DRC** - The Ridge Design Review Committee

**Flashing sign** - A sign that is illuminated with intermittent lighting, animated lighting or with varying intensities of light at intervals of fifteen (15) seconds or less, including a moving light or lights.

**Flex** - Flex space lends itself to a variety of uses. The building is designed for multiple tenants, divided in spaces running front to rear. Office space is located at the front of the building with warehouse space, typically accessed by delivery doors at the rear elevation of the building. The proportion of office vs. warehouse space in each tenant space is not determined until the user occupies the space. The space may subsequently be re-proportioned to accommodate the current occupant or a new occupant's changing needs. The space may include such uses as offices; retail and wholesale stores; warehousing, manufacturing, light industrial, or scientific research functions.

**Freestanding sign** - A sign that is permanent and self-supporting, being non-dependent upon support from a building or other structure, including signs placed upon fences or non-supporting walls.

**General Warehousing** - Establishments primarily engaged in operating merchandise warehousing and storage facilities, including mini-storage facilities. These establishments generally handle goods in containers, such as boxes, barrels, and/or drums, using equipment, such as forklifts, pallets, and racks. Warehousing facilities should be oriented away from public view and located adjacent to complementary uses.

**Gross leasable area (G.L.A.)** - The total floor area of commercial buildings, which floor area is designed for tenant occupancy and exclusive use, including basements, mezzanines and upper floors, if any; expressed in square feet and measured from the center line of joint partitions and from outside wall faces.

**Home occupations** - In any district where home occupations are permitted as an accessory use, the establishment and continuance of a home occupation shall be subject to the following general requirements: use shall be conducted entirely within a dwelling and carried on principally by the inhabitants thereof; use shall be clearly incidental and secondary to the use of the dwelling for residential purposes and shall not change the residential character thereof; total area used for such purposes shall not exceed the equivalent of one-half (½) the floor area, in square feet, of the first floor of the user's dwelling unit; no advertising, display or other indications of home occupation on the premises; there shall not be conducted on the premises the business of selling stocks, supplies or products, provided that incidental retail sales may be made in connection with the permitted home occupations; no exterior storage on the premises of material used in the home occupation; no offensive noise, vibration, smoke, dust, odors, heat or glare noticeable at or beyond the property line, as a result of the home occupation;

Home occupations examples: refer to Town Code at the time of application for allowable home occupation uses.

**JRC** - Johnstown Review Committee

**Light Industrial** - Light industrial shall mean uses engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including precessing, fabrication, assembly, treatment, packaging, incidental storage, sales or distribution of such products. Further, light industrial shall mean uses such as the manufacture of electronic instruments, preparation of food products, pharmaceutical manufacturing, research and scientific laboratories or the like. Light industrial shall not include uses such as mining and extracting industries, petrochemical industries, rubber refining, primary metal or related industries. In addition, all uses allowed in section 1.5.11 shall be included in the definition of light industrial

**Large Lot** - A residential lot 5,000 s.f. or greater

**Lot** - A single parcel of contiguous land occupied or intended to be occupied by such structures and uses as permitted, together with the open spaces required, and abutting on a public street or officially approved way.

**Lot area** - The area of contiguous land bounded by lot lines, exclusive of land provided for public thoroughfare.

**Lot lines** - The lines bounding a lot as defined herein.

**Manufacturing** - The processing of raw materials or parts into finished goods through the use of tools, human labor, machinery, and chemical processing. Manufacturing is a value-adding process allowing businesses to sell finished products at a higher cost over the value of the raw materials used

**Metro District** – Villages at Johnstown Metropolitan Districts Nos. 1-8 formed pursuant to the Colorado Special Districts Act (C.R.S. 32-1-101, et seq.)

**Mixed-Use** – A Site or Building that incorporates more than one use. This could be a site that has both residential and non-residential on the same site or it could be the use of a structure that combines or integrates both residential and non-residential uses in the same structure/building.

**Multi-family** - Multifamily residential is a classification of housing where multiple separate housing units for residential inhabitants are contained within one building, with multiple buildings of the same classification are located on a single lot. Units can be next to each other, or stacked on top of each other and are for rent rather than owned by the residents.

**Office** - A type of land-use where the order of work is service related rather than production of goods or retail sales

**Off-street parking space** - The area on a lot designed to accommodate a parked motor vehicle as an accessory service to the use of lot and with adequate access thereto from the public street.

**Offset/Setback**- The horizontal distance between any structure and a lot line, other than a street right-of-way line.

**Open space** - The gross area of a lot or tract of land minus all streets, driveways, parking lots, and building areas, which is to be or has been landscaped or developed for use by the public or by the residents of the lot or tract of land for private, common or public enjoyment or recreational use.

**Outdoor recreational facilities** - Land and structure, along with accessory equipment, designed and utilized for leisure time activities of a predominantly "outdoor" nature and of more specific purpose than passive park-like open areas, and further classified as follows:

**Public:** Facilities owned and operated by a government agency for limited or general public use.

**Private Commercial:** Facilities owned and operated by a group for profit as a business, whether or not open to general public use.

**Private Group:** Facilities owned and operated by a group for the exclusive use of the members of such group and their guests and not for profit as a business.

**Private Residential:** Facilities owned by an individual, located on the same lot or adjoining lot to his or her family and guests.

**Outline Development Plan (ODP)**- The general plan for The Ridge development that describes or outlines the existing conditions of the site and the proposed development which includes location map, sketch plan and general development information as required by the Johnstown Town Code.

**Overstory Street Canopy** - Large, deciduous shade trees with high branch systems at maturity that are located within the public right-of-way between the edge of the street and the edge of private or common property or in street medians. Typically, these trees are located between the bike path or sidewalk and the street edge.

**Passenger transportation terminals** - Bus and rail depots, but not including airports, airstrips, and landing fields. Any such use shall be located not less than one hundred (100) feet from any residential district boundary

**Private lodge or club** - A structure or grounds used for regular or periodic meetings or gatherings of a group of persons organized for a nonprofit purpose, but not groups organized to render a service customarily carried on as a business.

**Professional office** - The office of a doctor, dentist, architect, landscape architect, engineer, lawyer or other similar recognized profession.

**Retail store** - A commercial establishment for the sale of material goods or commodities in relatively small quantities directly to the consumer.

**Roof sign** – A sign erected, constructed and maintained above the eaves and attached to the roof of a building. Roof signs are specifically prohibited.

**Screen** - To use landscape materials, walls, fencing, etc. to shield an area from view and to mitigate noise impacts.

**Setback** - The horizontal distance between any structure and the established street right-of-way line.

**Sign** - Any structure or part thereof or any device attached to a structure, or any other form of visual communication applied by paint, illumination, embossing or other technique to a structure for the purpose of directing, advertising, informing, warning or otherwise conveying information visually to the viewer.

**Small Lot**- A residential lot less than 5,000 s.f.

**Single-Family Detached**- Means a residential structure designed to house a single-family unit, with private outside entrance, but without common walls between the dwelling units.

**Single-Family Attached** - A residential structure designed to house a single-family unit from lowest level to roof, with a private outside entrance, but not necessarily occupying a private lot, and sharing a common wall adjoining dwelling units.

**Stormwater Detention** - Containment of controlled runoff temporarily for storage. Typically, the water is stored in a pond for a limited period of time.

**Stormwater Retention** - Containment of controlled runoff temporarily for storage. Typically, the water is stored in a pond for an extended period of time.

**Structure** - A combination of materials other than natural terrain or plant growth erected or constructed to form a shelter, enclosure, retainer, container, support, base, pavement or decoration. The word structure includes buildings. Exception: Not including fences six (6) feet or less in height.

**Use, Accessory** - A use subordinate to and customarily incident to the permitted principal use of the property or buildings and located upon the same lot as the principal use.

**Use, Permitted** - That utilization of land by occupancy, activity, building or other structure which is specifically enumerated as permissible by the regulations of the zoning district in which land is located.

**Use, Principal** - The main or primary use of property or structures as permitted on such lot by the regulations of the zone district in which it is located.

**Xeriscape** - An environmentally friendly landscape design approach where some or all of the following techniques are utilized: selecting low water demanding plants, grouping plants by their cultural needs, reducing turf areas, using turf types with low water requirements, using plants native to the region being designed, using mulches to cover soil and save moisture, irrigating by zoning plants together with similar water needs and by using efficient head layout and water distribution patterns, and performing regular maintenance to preserve the landscape and conserve water.



# Town of Johnstown

## PLANNING & ZONING COMMISSION STAFF ANALYSIS REPORT

---

**ITEM:** Public Hearing and Consideration of the Preliminary and Final Subdivision Plat for Welty Ridge Filing No. 2

**PROJECT NO:** SUB23-0010

**PARCEL NO:** 106110101003, 106110101004, 106110101005

**DESCRIPTION:** Proposed subdivision of approximately 106.7 acres to create eight buildable lots and two large tracts for future subdivision, as well as dedication of Town rights-of-way.

**LOCATION:** South of Weld CR 48 and West of I-25.

**DEVELOPER:** Platte Land & Water, LLC

**STAFF:** Tony LeFevre, Planner I

**HEARING DATE:** February 14, 2024

---

### ATTACHMENTS

- 1. Vicinity Map
- 2. Proposed Final Plat
- 3. Welty Ridge Outline Development Plan Amendment 1 (2021)

### EXECUTIVE SUMMARY

The Developer, Platte Land & Water, LLC, is requesting approval of a final Subdivision Plat encompassing approximately 106.7 acres. The subdivision will create eight buildable lots, dedicate right of way within internal roadways, and create two large tracts for future development, open space, and a detention pond. The subdivision will also plat stormwater and utility easements (Attachment 2).

**ZONING:** PUD-MU – Welty Ridge ODP

**ADJACENT ZONING & LAND USE:**

**North:** Gateway (I-1) and Welty Ridge Filing 1 (PUD-MU) (Buc-ee’s)  
**East:** I-25  
**South:** Weld County ‘A’ – Existing Ag properties + GWRR railroad spur  
**West:** Weld County ‘A’ – Existing Ag properties

**PROPERTY LAND USE HISTORY**

- The subject property was annexed into Johnstown as part of the Veeman Annexation. It was annexed into the Town by way of Ordinance #2008-800, effective June 12, 2008; PUD-MU Zoning by Ordinance #2008-801.
- This property is subject to the zoning and associated specific uses as outlined in the Welty Ridge Outline Development Plan Amendment 1 approved through Ordinance #2021-211.

**SUBMITTAL AND REFERRALS**

This project submittal included the proposed subdivision plat, as well as interim engineering plans and reports (i.e., grading, drainage, soils, utility, water) for the site. The project was referred to and reviewed by:

- IMEG (Town Engineer)
- Front Range Fire Rescue
- JUB (Water Engineer)
- FHU (Town Traffic Engineer)
- Public Works & Utilities Departments
- Little Thompson Water District

**PROJECT DESCRIPTION & ANALYSIS**

The Developer, Platte Land and Water, LLC, is requesting a combined Preliminary/Final Subdivision Plat for 106.7 acres. Approval of this plat would create eight buildable lots ranging in size from 0.74 to 26 acres, as well as two tracts. The larger tract (35.9 acres) will be subdivided in the future, with a subsequent subdivision application. The smaller tract (7.9 acres) is dedicated open space and will include a detention pond that will be maintained by the Metro District. There will also be 9.2 acres of public right of way dedicated with this plat in the interior of the platted area. The subdivision will also plat various drainage and utility easements, and includes pre-existing easements for waterlines, I-25 to the east, and Great Western Railroad to the south.

The engineering plans and documents that accompany this subdivision application will ensure construction of utilities and stormwater facilities for the site are in compliance with Town codes and standards. Transportation connections are also stubbed/planned to adjacent properties to provide emergency turn arounds in the current development and allow connections to future development. No Final Development Plan is associated with this Plat.

The 2021 Comprehensive Plan identifies this area as appropriate for both high and medium density and intensity development pursuant to its proximity to I-25 and WCR 48. The northern and east portion of this land (PA-1, PA-2, and PA-5) calls for high density use that entails a mix of commercial and employment uses in the Comprehensive Plan. Welty Ridge Outline Development Plan (ODP) Amendment 1 (attached) has the northern acreage (PA-1 and PA-2) as

Mixed-Use land use classification with a wide variety of commercial and agricultural specific uses as well as the possibility of medium to high-density residential uses.

The eastern portion of the acreage (PA-5) along I-25 has an Employment land use designation with many of the same commercial and agricultural specific uses allowed, but no residential is allowed in that land use planning area.

The southwest portion of the Welty Ridge Filing 2 acreage (PA-4) is in the medium density/intensity area, as depicted in the 2021 Comprehensive Plan will remain a tract (Tract A) to be subdivided in a future filing. Pursuant to the Welty Ridge ODP Amendment 1, medium-density residential land uses are planned for the southwest acreage, with densities ranging from 3-6 DU/acre. The medium-density residential land use aligns well with Medium Intensity/Density area of the 2021 Comprehensive Plan.

Staff finds that the proposed subdivision complies with the ODP, which outlines land uses and development standards for the project site; therefore, staff recommends that the Planning and Zoning Commission recommend approval to the Town Council. A development agreement will be proposed with the project when it is presented to Town Council, as well as a Water and Sewer Service Agreement that will provide irrigation for the landscaped areas along public rights-of-way.

#### **PUBLIC NOTICE**

Notice for the Planning & Zoning Commission hearing was published in the Johnstown Breeze, on Thursday, February 1, 2024. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Pursuant to Section 17.2.1-F of the Johnstown Land Use and Development Code, notices were mailed to all property owners within 800 feet of the property in question. This notice included a vicinity map and the proposed subdivision map.

#### **COMPREHENSIVE PLAN**

Goal W2: Balance more intense commercial uses along major highway corridors while having neighborhood-scale commercial in the Downtown and throughout the community to ensure convenient access to jobs, goods, and services for all residents. The proposed subdivision aligns with this goal, because it locates a more intense mix of uses adjacent to the I-25 corridor.

#### **STRATEGIC PLAN**

GOAL: Natural & Built Environment

- Strategy: 1. Expect and encourage community centered design.*  
*2. Support a broad range of housing options.*

Staff finds that the proposed subdivision aligns with the above-listed goal and strategy from the adopted Johnstown Strategic Plan, because the land uses associated with the project provide for a range of housing options, from low to high density.

## RECOMMENDED FINDINGS AND MOTIONS

### Recommended Findings

It is recommended that Planning and Zoning Commission send a recommendation for Approval to Town Council that the requested Preliminary and Final Subdivision Plat for Welty Ridge Filing No. 2 based upon the following findings:

1. The proposed subdivision is consistent with the Johnstown Area Comprehensive Plan.
2. The proposed subdivision is in substantial compliance with the Town's codes, regulations, and requirements.
3. The proposed subdivision will meet the needs of the community by creating infrastructure to support buildable commercial and employment opportunities as well as housing opportunities in the future.
4. The proposed subdivision is compatible with adjacent development and surrounding land uses and will not detract from existing land uses. Additionally, the continued expansion of a regionally significant mixed-use development will bring in a variety of commercial and employment opportunities for the Town of Johnstown.

### Recommended Motion to Approve:

Based on the application received, information provided at this hearing, and findings noted, the Planning & Zoning Commission moves to recommend to the Town Council Approval of the Preliminary and Final Subdivision Plat for Welty Ridge Filing No. 2.

### Alternative Motions:

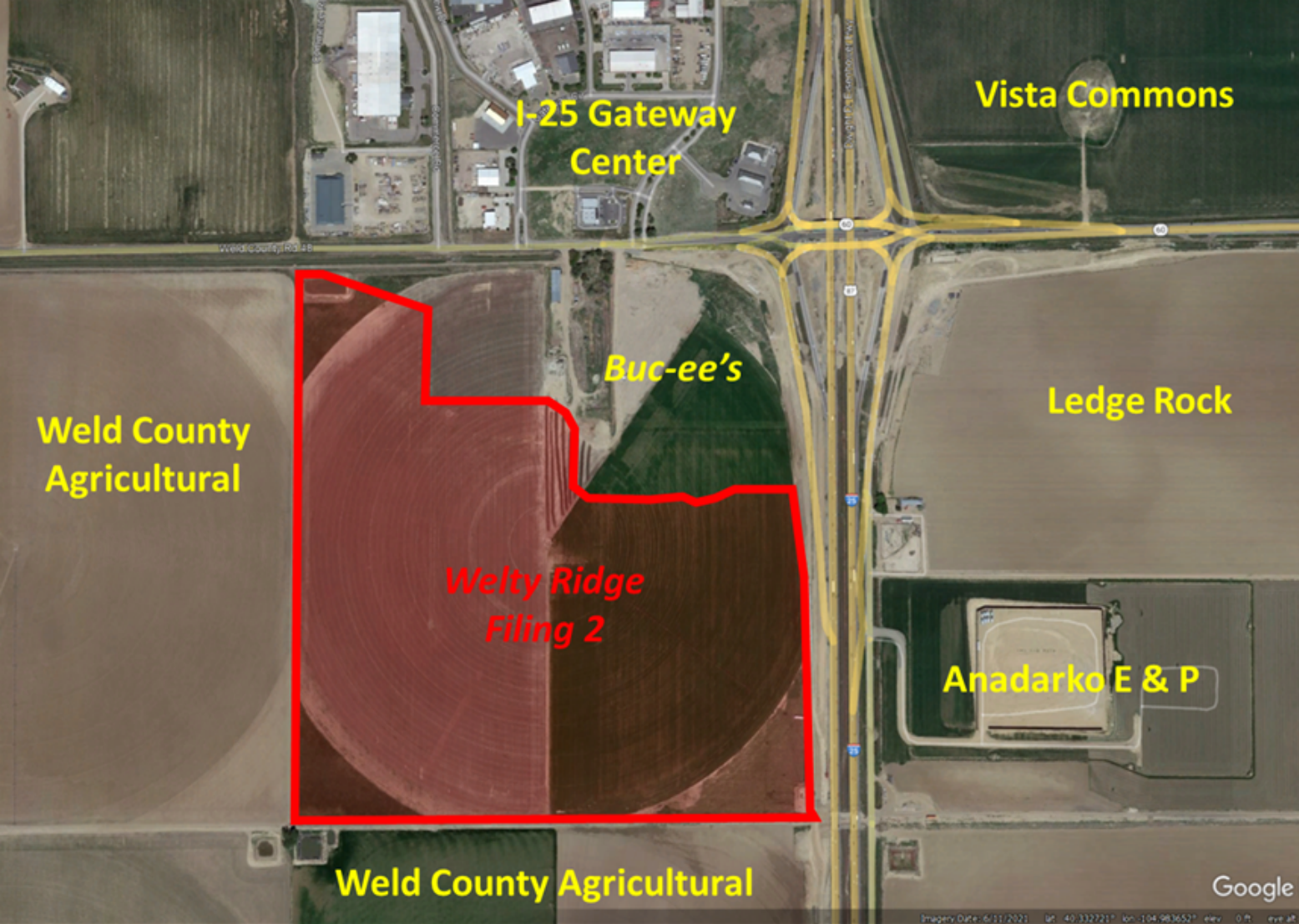
#### Motion to Recommend Approval with Conditions

Based on the application received, information provided at this hearing, and findings noted, the Planning & Zoning Commission moves to recommend to the Town Council Approval of the Preliminary and Final Subdivision Plat for Welty Ridge Filing No. 2 with the following conditions...

#### Motion to Recommend Denial

I move that the Planning & Zoning Commission recommend to the Town Council Denial of the Final Subdivision for Preliminary and Final Subdivision Plat for Welty Ridge Filing No. 2, based on the following findings...





**I-25 Gateway  
Center**

**Vista Commons**

**Weld County  
Agricultural**

**Buc-ee's**

**Ledge Rock**

**Welty Ridge  
Filing 2**

**Anadarko E & P**

**Weld County Agricultural**

Google

# PRELIMINARY & FINAL PLAT WELTY RIDGE SUBDIVISION - FILING NO. 2

A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
Town of Johnstown, County of Weld, State of Colorado

### DEDICATION

Know all persons by these presents that Platte Land & Water, LLC, being the owner of the following described property:

Tract A of Welty Ridge Subdivision - Filing No. 1 recorded December 15, 2001 as Reception No. 4785368 of the Records of Weld County, and along with Commerce Drive Right of Way as dedicated by Welty Ridge Subdivision - Filing No. 1, located in the Northeast Quarter (NE1/4) of Section Ten (10), Township Four North (T.4N.), Range Sixty-eight West (R.68W.) of the Sixth Principal Meridian (6th P.M.), Town of Johnstown, County of Weld, State of Colorado.

TOGETHER WITH a portion of Nugget Road Right of Way as dedicated by Welty Ridge Subdivision - Filing No. 1 and being more particularly described as follows:

BEGINNING at the Southwest corner of said Nugget Road Right of Way and assuming the West line of said Northeast Quarter as bearing North 00°23'18" West being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2669.73 feet with all other bearings contained herein relative thereto;

THENCE North 00°25'12" West along the West line of said Right of Way a distance of 9.37 feet to the beginning point of a curve, non-tangent this line;  
THENCE along the arc of a curve concave to the left a distance of 18.76 feet, said curve has a Radius of 515.00 feet, a Delta of 02°05'12" and is subtended by a Chord that bears South 81°19'03" East a distance of 18.75 feet to a Point of Reverse Curvature;

THENCE along the arc of a curve concave to the right a distance of 12.22 feet, said curve has a Radius of 15.00 feet, a Delta of 46°39'42" and is subtended by a Chord that bears South 59°00'32" East a distance of 11.88 feet to a line non-tangent to this curve and to the South line of said Right of Way;

THENCE South 88°39'28" West along the South line of said Right of Way a distance of 28.49 feet to the POINT OF BEGINNING.

Said parcel contains 106.698 acres more or less (±).

Do hereby subdivide the same into the lots, blocks, tracts, outlots, rights-of-way and easements as shown on this map to be known as Welty Ridge Subdivision - Filing No. 2 and do hereby designate and dedicate all rights-of-ways and easements for public use, unless otherwise noted.

### OWNER

By: \_\_\_\_\_

Title: \_\_\_\_\_

### NOTARIAL CERTIFICATE

STATE OF \_\_\_\_\_ )  
  ) ss  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me by \_\_\_\_\_,

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My commission expires \_\_\_\_\_ Notary Public

(SEAL)

### LIENHOLDER(S)

By: \_\_\_\_\_ As: \_\_\_\_\_

### NOTARIAL CERTIFICATE

STATE OF \_\_\_\_\_ )  
  ) ss  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

by \_\_\_\_\_ as \_\_\_\_\_

Witness my hand and official seal. (SEAL)

My commission expires \_\_\_\_\_ Notary Public

### TOWN COUNCIL

This plat, to be known as WELTY RIDGE SUBDIVISION - FILING NO. 2, is approved and accepted by the Town of Johnstown, by Resolution Number \_\_\_\_\_, passed and adopted on final reading at a regular meeting of the Town Council of the Town of Johnstown, Colorado held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ Attest: \_\_\_\_\_  
Mayor Town Clerk

### EASEMENT APPROVAL

Utility easement are adequate as shown and are hereby approved:

Qwest Communications \_\_\_\_\_ EXCEL Energy Co. \_\_\_\_\_

### UTILITIES APPROVAL

The required water rights and/or necessary cash payments have been transferred to the Town of Johnstown and the final utility plans have been approved. Utility easements are adequate as shown.

Water/Sewer Utilities \_\_\_\_\_ Electric Utilities \_\_\_\_\_

### GENERAL OVERLAP DRAINAGE NOTE

Lots and Tracts as platted may be required to convey surface drainage from other lots and tracts in this filing. In accordance with Town of Johnstown requirements and the approved Drainage Plan for this filing, no alterations to the grading of the lots and tracts may be made that would disrupt the approved Drainage Plan, without prior approval from the Town of Johnstown. All natural and improved drainage ways or drainage systems in said lots and tracts shall be maintained by the lot or tract owner. Should the owner fail to adequately maintain said facilities, the Town of Johnstown shall have the right to enter said land for the purposes of operations and maintenance of the drainage ways or drainage systems. All such maintenance costs incurred by the Town will be assessed to the property owner.

### STORM SYSTEM MAINTENANCE NOTE

The Town of Johnstown requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owner shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land unless modified by the Subdividers Agreement. Should the owner fail to adequately maintain said facilities, the Town shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner.

### FLOOD PLAIN NOTE

The subject property is in flood zone 'X', "areas determined to be outside the 0.2% annual chance of floodplain" per FEMA flood map 08069C1405C revised January 15, 2021.

### DEVELOPMENT AGREEMENT NOTE:

A Development Agreement has been filed in conjunction with this plat. That agreement should be viewed for additional stipulations or requirements that may encumber the property.

### BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the West line of the Northeast Quarter of Section 10, T.4N., R.68W., as bearing North 00°23'18" West, as monumented as shown on this plat, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2669.73 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

### NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

### TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors relied upon Title Property Information Binder Number RND25203929, dated March 29, 2023 as prepared by Land Title Guarantee Company to delineate the aforesaid information.

### SURVEYOR'S CERTIFICATE

I certify that this plat accurately represents the results of a survey made by me or under my direct supervision.

## PRELIMINARY

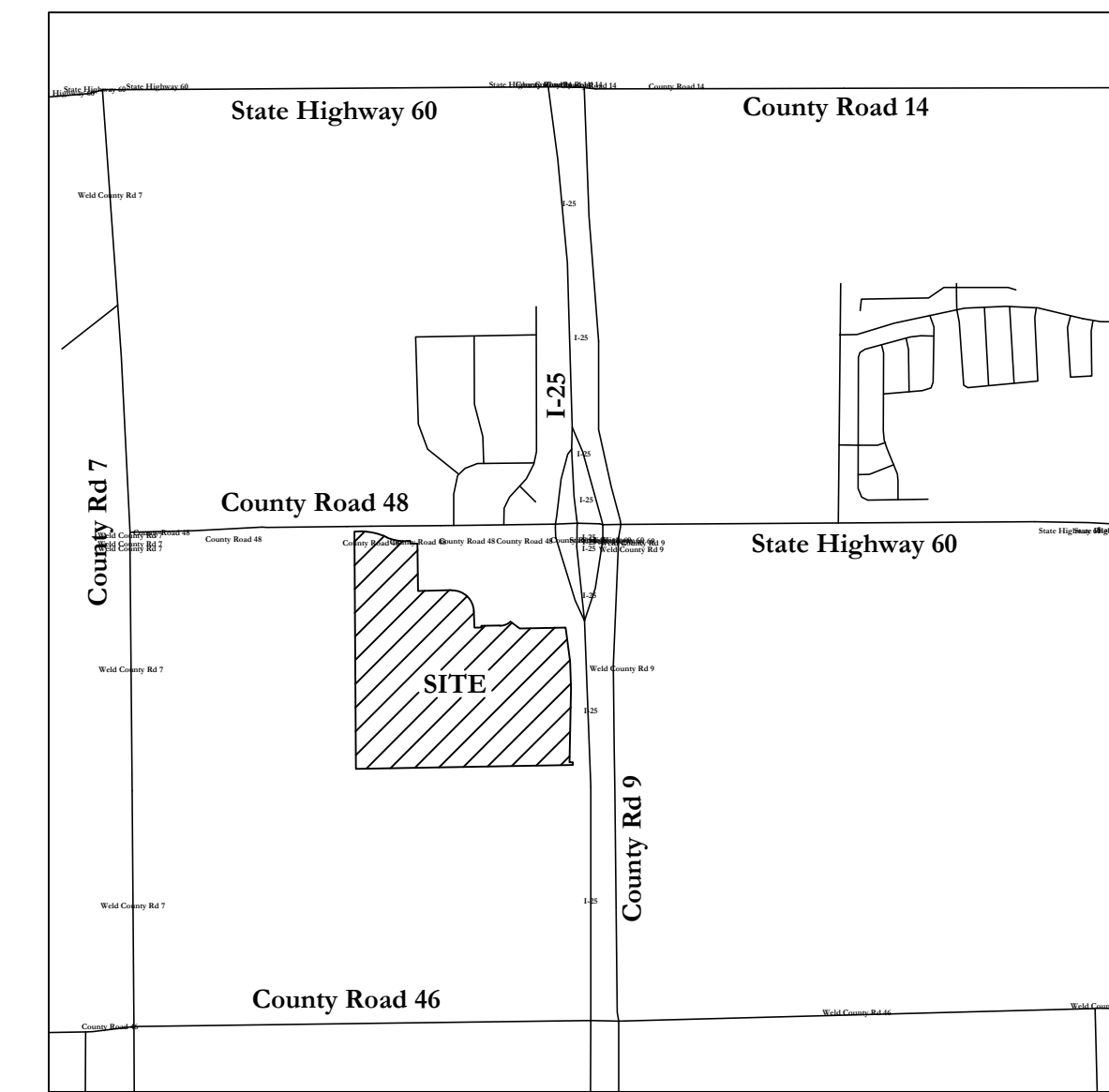
Paul B. Groves - On Behalf Of King Surveyors  
Colorado Licensed Professional  
Land Surveyor #38209

### APPLICANT'S ATTORNEY CERTIFICATE

I, \_\_\_\_\_, an attorney licensed to practice law in the State of Colorado, certify that I have examined title to the above described land dedicated to the Town of Johnstown, Colorado, with such land described in Schedule A to Title Commitment No. \_\_\_\_\_, issued by \_\_\_\_\_ effective \_\_\_\_\_, 20\_\_\_\_, and that based on such title commitment updated through the date of execution of this plat and my actual knowledge, all persons executing the dedication of this plat are the owners or duly authorized signatories of such land in fee simple, such land is free and clear of all liens and encumbrances, except encumbrances set forth in Schedule B - Section 2 of such title commitment as of such date of execution, and any such encumbrances do not impair the use of such land dedicated to the Town of Johnstown for the purposes set forth on this plat.

So sworn this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Attorney at Law



VICINITY MAP  
SCALE: 1"=2000'

### LAND USE SUMMARY CHART

TYPE	AREA (s.f.)	AREA (acres)	PERCENTAGE	PURPOSE	OWNERSHIP & MAINTENANCE
LOT 1	52,046	1.195	1.1%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 2	48,174	1.106	1.0%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 3	59,725	1.371	1.3%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 4	32,272	0.741	0.7%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 5	114,619	2.631	2.5%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 6	523,915	12.027	11.3%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 7	351,819	8.077	7.6%	FUTURE DEVELOPMENT	PROPERTY OWNER
LOT 8	1,152,813	26.465	24.8%	FUTURE DEVELOPMENT	PROPERTY OWNER
TRACT A	1,565,457	35.938	33.7%	FUTURE DEVELOPMENT	PROPERTY OWNER
TRACT B	346,103	7.945	7.4%	OPEN SPACE & DETENTION POND	METRO DISTRICT
RIGHT OF WAY	400,809	9.202	8.6%	PUBLIC RIGHT OF WAY	TOWN OF JOHNSTOWN
TOTAL	4,647,752	106.698	100.0%		

OWNER: PLATTE LAND AND WATER, LLC  
ATTN: TIM WALSH  
210 UNIVERSITY BLVD., SUITE 710  
DENVER, CO 80206  
PHONE: (303) 263-2105

APPLICANT: LAND ASSET STRATEGIES, LLC  
ATTN: DON GUERRA  
619 12TH STREET #31  
GOLDEN, CO 80402  
PHONE: (303) 905-3496

ENGINEER: JR ENGINEERING, LLC  
ATTN: KEVIN J. ROHRBOUGH, PE  
7200 S. ALTON WAY, SUITE C400  
CENTENNIAL, CO 80112  
PHONE: (303) 267-6262

PLANNER: TERRACINA DESIGN  
ATTN: JEFF MARCK  
10200 E. GIRARD AVENUE  
BUILDING A, SUITE 314  
DENVER, CO 80231  
PHONE: (303) 632-8867

SURVEYOR: KING SURVEYORS  
650 GARDEN DRIVE  
WINDSOR, CO 80550  
PHONE: (970) 686-5011

DATE: 10/16/2023

FILE NAME: 20230040-SUB

SCALE: 1"=50'

DRAWN BY: CSK

CHECKED BY: PG

KING SURVEYORS  
650 E. Garden Drive | Windsor, Colorado 80550  
phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:	DATE:

WELTY RIDGE SUBDIVISION - FILING NO. 2  
FOR  
INTERSTATE LAND HOLDING, LLC  
212 EAST 4TH STREET  
LOVELAND, CO 80537

PROJECT #: 20230040

# 1

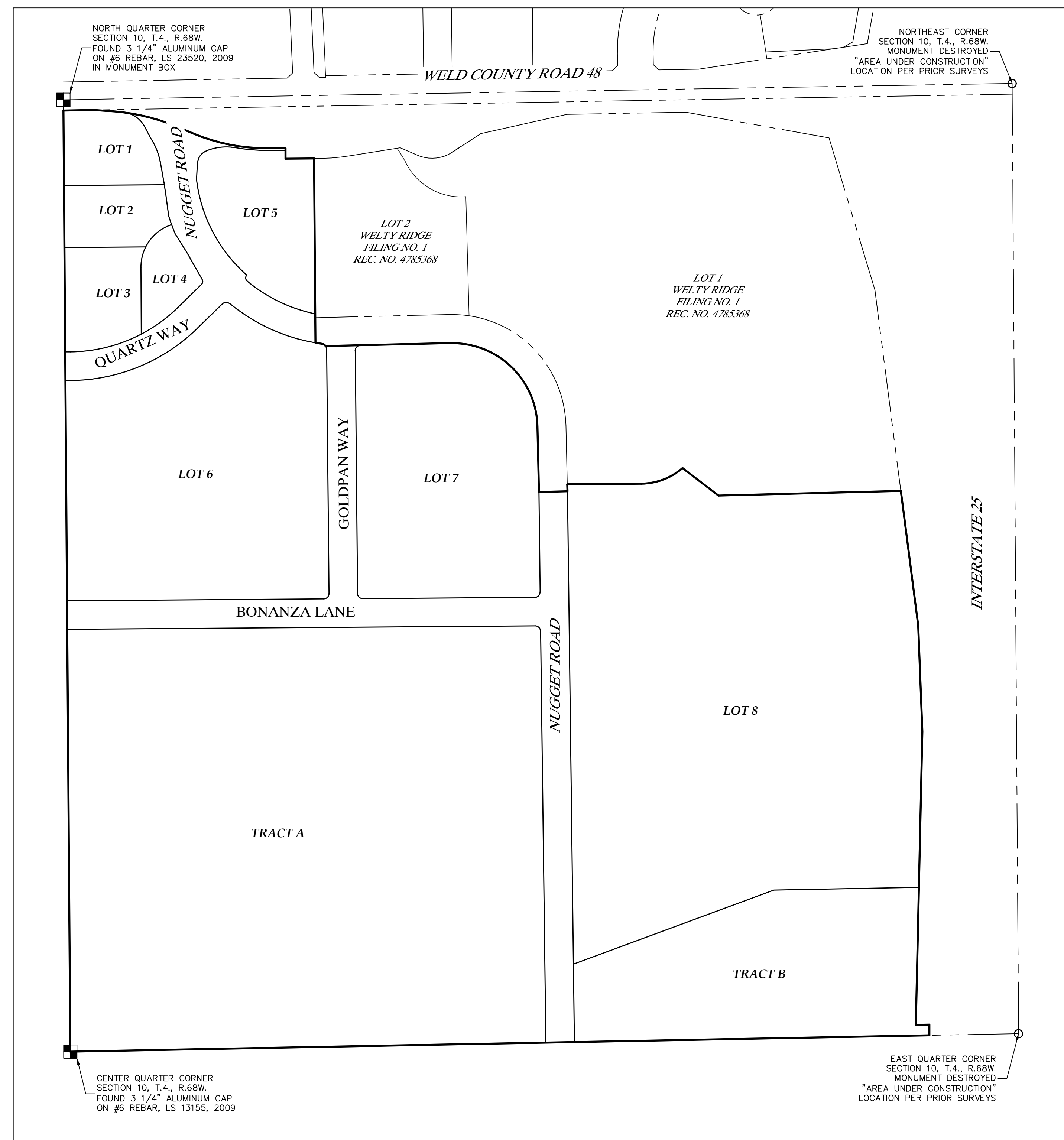
# PRELIMINARY & FINAL PLAT

## WELTY RIDGE SUBDIVISION - FILING NO. 2

A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
Town of Johnstown, County of Weld, State of Colorado

DATE:	10/16/2023
FILE NAME:	20230040-SUB
SCALE:	1"=200'
DRAWN BY:	CSK
CHECKED BY:	PG
KING SURVEYORS	
650 E. Garden Drive   Windsor, Colorado 80550 phone: (970) 686-5011   email: contact@Kingsurveyors.com	
DATE:	
REVISIONS:	
WELTY RIDGE SUBDIVISION - FILING NO. 2	
FOR	
INTERSTATE LAND HOLDING, LLC	
212 EAST 4TH STREET LOVELAND, CO 80537	
PROJECT #:	20230040
2	
SHEET 2 OF 7	

### OVERALL LAYOUT



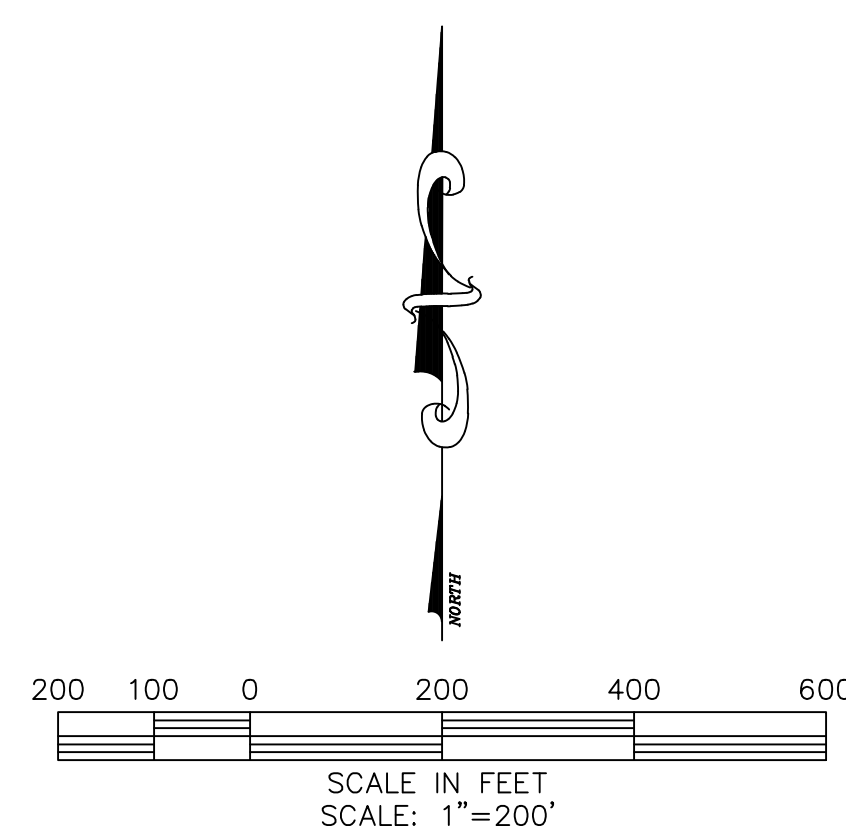
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	195.28'	585.00'	19°07'34"	194.38'	S76°41'09"E
C2	216.48'	530.00'	23°24'09"	214.98'	S78°49'26"E
C3	18.76'	515.00'	2°05'15"	18.76'	S81°17'46"E
C4	12.22'	15.00'	46°39'42"	11.88'	S59°00'32"E
C5	373.85'	238.00'	90°00'00"	336.58'	S46°21'03"E
C6	126.19'	178.50'	40°30'13"	123.57'	N69°18'14"E
C7	240.07'	650.00'	21°09'41"	238.71'	N80°24'33"W
C8	235.44'	650.00'	20°45'13"	234.16'	N80°36'47"W
C9	4.63'	650.00'	0°24'29"	4.63'	N70°01'56"W
C10	171.90'	475.00'	20°44'07"	170.96'	S80°11'45"E
C11	42.14'	585.00'	4°07'39"	42.13'	N84°11'06"W
C12	153.14'	585.00'	14°59'55"	152.70'	N74°37'19"W
C13	28.85'	67.00'	24°40'06"	28.62'	N69°47'13"W
C14	37.30'	75.00'	28°29'43"	36.92'	N43°12'19"W
C15	44.43'	475.00'	5°21'32"	44.41'	S14°08'55"W
C16	753.22'	475.00'	90°51'18"	676.75'	S33°57'30"E
C17	464.36'	475.00'	56°00'42"	446.08'	S16°32'12"E
C18	288.86'	475.00'	34°50'36"	284.43'	S61°57'51"E
C19	99.19'	475.00'	11°57'54"	99.01'	S85°22'06"E
C20	71.86'	475.00'	8°40'04"	71.79'	S83°43'11"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C21	27.33'	475.00'	3°17'50"	27.33'	S89°42'08"E
C22	436.68'	278.00'	90°00'00"	393.15'	N46°21'03"W
C23	31.28'	979.00'	1°49'51"	31.28'	N28°02'31"W
C24	11.37'	121.00'	5°23'04"	11.37'	S29°49'08"E
C25	67.33'	179.00'	21°33'05"	66.93'	N21°44'07"W
C26	11.52'	79.00'	8°21'18"	11.51'	S14°31'12"W
C27	28.89'	39.00'	42°26'12"	28.23'	S39°54'57"W
C28	37.72'	515.00'	4°11'49"	37.72'	S08°37'46"E
C29	5.72'	515.00'	0°38'12"	5.72'	S06°50'58"E
C30	32.00'	515.00'	3°33'37"	32.00'	S08°56'52"E
C31	57.18'	521.00'	6°17'16"	57.15'	S19°45'37"E
C32	28.38'	521.00'	3°07'16"	28.38'	S18°10'37"E
C33	21.94'	15.00'	83°48'13"	20.04'	S87°37'31"W
C34	267.67'	515.00'	29°46'46"	264.67'	S65°21'45"E
C35	9.20'	15.00'	35°07'35"	9.05'	N18°06'54"W
C36	23.35'	15.00'	89°12'03"	21.06'	S44°02'55"W
C37	154.14'	125.00'	70°39'03"	144.55'	S34°56'14"W
C38	95.00'	125.00'	43°32'47"	92.73'	S48°29'22"W
C39	59.13'	125.00'	27°06'15"	58.58'	S13°09'50"W
C40	363.59'	475.00'	43°51'24"	354.77'	N67°39'07"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C41	332.97'	435.00'	43°51'24"	324.90'	N67°39'07"E
C42	125.77'	435.00'	16°33'58"	125.34'	N54°00'24"E
C43	207.19'	435.00'	27°17'26"	205.24'	N75°56'06"E
C44	394.20'	515.00'	43°51'24"	384.65'	N67°39'07"E
C45	14.37'	79.00'	10°25'07"	14.35'	S66°20'37"W
C46	63.18'	149.00'	24°17'49"	62.71'	S83°42'04"W
C47	6.00'	79.00'	4°21'07"	6.00'	N81°58'28"W
C48	312.56'	423.00'	42°20'14"	305.50'	S27°28'52"E
C49	19.02'	12.00'	90°48'46"	17.09'	S04°52'07"E
C50	213.20'	435.00'	28°04'53"	211.07'	S64°18'57"E
C51	23.60'	15.00'	90°07'59"	21.24'	N44°30'51"E
C52	23.53'	15.00'	89°52'05"	21.19'	S45°29'09"E
C53	23.64'	15.00'	90°18'07"	21.27'	N44°25'45"E
C54	23.48'	15.00'	89°41'53"	21.16'	N45°34'15"W
C55	18.37'	135.00'	7°47'49"	18.36'	S66°21'51"W
C56	27.52'	20.00'	78°50'24"	25.40'	S78°06'51"E
C57	48.33'	91.00'	30°25'40"	47.76'	S15°12'50"E
C58	60.46'	111.00'	31°12'38"	59.72'	S15°36'19"E
C59	27.52'	20.00'	78°50'24"	25.40'	N00°43'33"E
C60	93.39'	135.00'	39°38'04"	91.54'	S20°19'43"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C61	15.59'	435.00'	2°03'11"	15.59'	N88°33'13"E
C62	20.04'	435.00'	2°38'21"	20.03'	N86°12'27"E
C63	30.43'	435.00'	4°00'29"	30.42'	S76°21'09"E
C64	31.58'	435.00'	4°09'33"	31.57'	S72°16'09"E
C65	151.19'	435.00'	19°54'52"	150.43'	S60°13'56"E
C66	102.96'	548.00'	10°45'54"	102.81'	S85°10'52"E
C67	61.68'	188.50'	18°44'48"	61.40'	N80°10'57"E
C68	59.91'	238.00'	14°25'18"	59.75'	N84°08'24"W
C69	59.34'	238.00'	14°17'10"	59.19'	N69°47'10"W
C70	12.74'	238.00'	3°04'02"	12.74'	N44°44'22"W
C71	63.04'	238.00'	15°10'37"	62.86'	N35°37'02"W
C72	52.87'	238.00'	12°43'41"	52.76'	N07°42'53"W
C73	82.89'	50.00'	94°58'52"	73.72'	S43°29'58"E
C74	81.17'	50.00'	93°00'38"	72.54'	N42°49'03"E
C75	74.60'	50.00'	85°28'56"	67.87'	S01°21'03"E
C76	27.91'	188.50'	8°28'58"	27.88'	N66°34'04"E
C77	23.30'	188.50'	7°04'53"	23.28'	N58°47'09"E
C78	12.18'	188.50'	3°42'09"	12.18'	N53°23'38"E
C79	57.95'	238.00'	13°57'00"	57.80'	N21°03'14"W
C80	68.00'	238.00'	16°22'12"	67.77'	N54°27'29"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C81	114.50'	423.00'	15°30'34"	114.15'	S14°04'02"E
C82	113.34'	423.00'	15°21'05"	113.00'	S29°29'52"E
C83	76.26'	423.00'	10°19'47"	76.16'	S42°20'18"E
C84	8.46'	423.00'	1°08'47"	8.46'	S48°04'35"E
C85	28.80'	521.00'	3°10'00"	28.79'	S21°19'15"E
C86	11.97'	515.00'	1°19'55"	11.97'	S30°10'18"E
C87	12.46'	9.50'	75°09'14"	11.59'	N08°08'48"E



LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°00'37"E	83.99'
L2	S86°14'56"E	48.31'
L3	S67°07'21"E	45.26'
L4	N89°28'30"E	48.62'
L5	S00°25'11"E	29.71'
L6	N89°34'49"E	80.00'
L7	N88°38'57"E	80.00'
L8	N01°21'03"W	19.69'
L9	N88°54'51"E	37.80'
L10	S00°23'17"E	30.00'
L11	N10°07'12"W	60.93'
L12	S70°15'45"W	3.58'
L13	N89°34'49"E	14.42'
L14	S89°34'49"W	14.42'
L15	N89°34'49"E	14.42'
L16	S38°41'39"E	13.04'
L17	S00°00'00"E	49.02'
L18	N00°00'00"E	48.89'
L19	N38°41'39"W	14.41'
L20	N89°35'24"E	14.92'

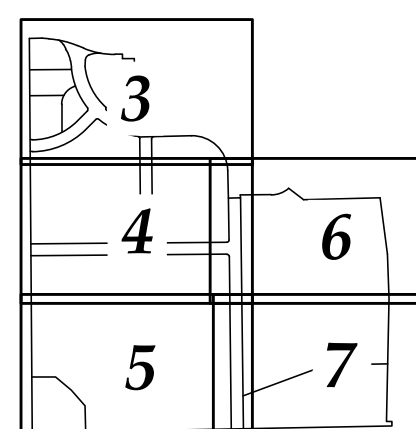
LINE TABLE		
LINE	BEARING	LENGTH
L21	N00°24'36"W	10.00'
L22	S89°35'24"W	14.92'
L23	N89°35'24"E	14.89'
L24	N00°24'36"W	10.00'
L25	S89°35'24"W	14.89'
L26	N00°24'36"W	74.41'
L27	S03°00'10"W	42.32'
L28	S89°26'47"W	42.21'
L29	N90°00'00"E	42.70'
L30	S00°00'00"E	7.88'
L31	S89°00'37"W	101.17'
L32	N90°00'00"W	51.48'
L33	S00°00'00"E	6.66'
L34	N89°34'49"E	12.50'
L35	S00°25'11"E	3.50'
L36	N89°34'49"E	22.19'
L37	S00°25'11"E	8.83'
L38	S89°34'49"W	12.50'
L39	N00°25'11"W	3.50'
L40	S89°34'49"W	22.19'

LINE TABLE		
LINE	BEARING	LENGTH
L41	N00°25'11"W	38.95'
L42	N89°34'49"E	12.50'
L43	S00°25'11"E	3.50'
L44	N89°34'49"E	22.19'
L45	S00°25'11"E	9.30'
L46	S89°34'49"W	25.69'
L47	N89°34'49"E	24.34'
L48	N07°40'14"W	260.01'
L49	S07°40'14"E	260.12'
L50	N89°34'49"E	20.28'
L51	N07°40'14"W	160.74'
L52	S89°00'37"W	50.81'
L53	N87°29'04"E	147.43'
L54	S89°07'14"E	129.93'
L55	N89°13'29"E	198.13'
L56	S61°51'37"E	20.07'
L57	S42°47'56"E	79.96'
L58	S88°50'59"E	59.51'
L59	S87°46'46"E	19.00'
L60	N88°50'59"W	19.62'

LINE TABLE		
LINE	BEARING	LENGTH
L61	N42°47'56"W	65.48'
L62	S89°13'29"W	192.32'
L63	N89°07'14"W	130.69'
L64	S87°29'04"W	133.99'
L65	S00°25'03"E	30.00'
L66	N00°32'09"W	9.97'
L67	N00°32'09"W	60.43'
L68	N89°00'36"E	100.01'
L69	S88°54'51"W	20.64'
L70	N00°25'11"W	29.69'
L71	N89°34'49"E	10.00'
L72	S00°25'11"E	10.00'
L73	S89°59'50"W	75.61'
L74	N89°59'50"E	44.66'
L75	S89°33'21"W	25.66'
L76	S00°25'11"E	10.89'
L77	N00°25'11"W	22.80'
L78	S89°33'21"W	48.38'
L79	S30°10'33"E	131.98'
L80	S29°29'52"E	113.00'

LINE TABLE		
LINE	BEARING	LENGTH
L81	S07°14'50"E	53.55'
L82	S31°56'22"E	59.95'
L83	S29°25'49"E	77.41'

#### SHEET LAYOUT



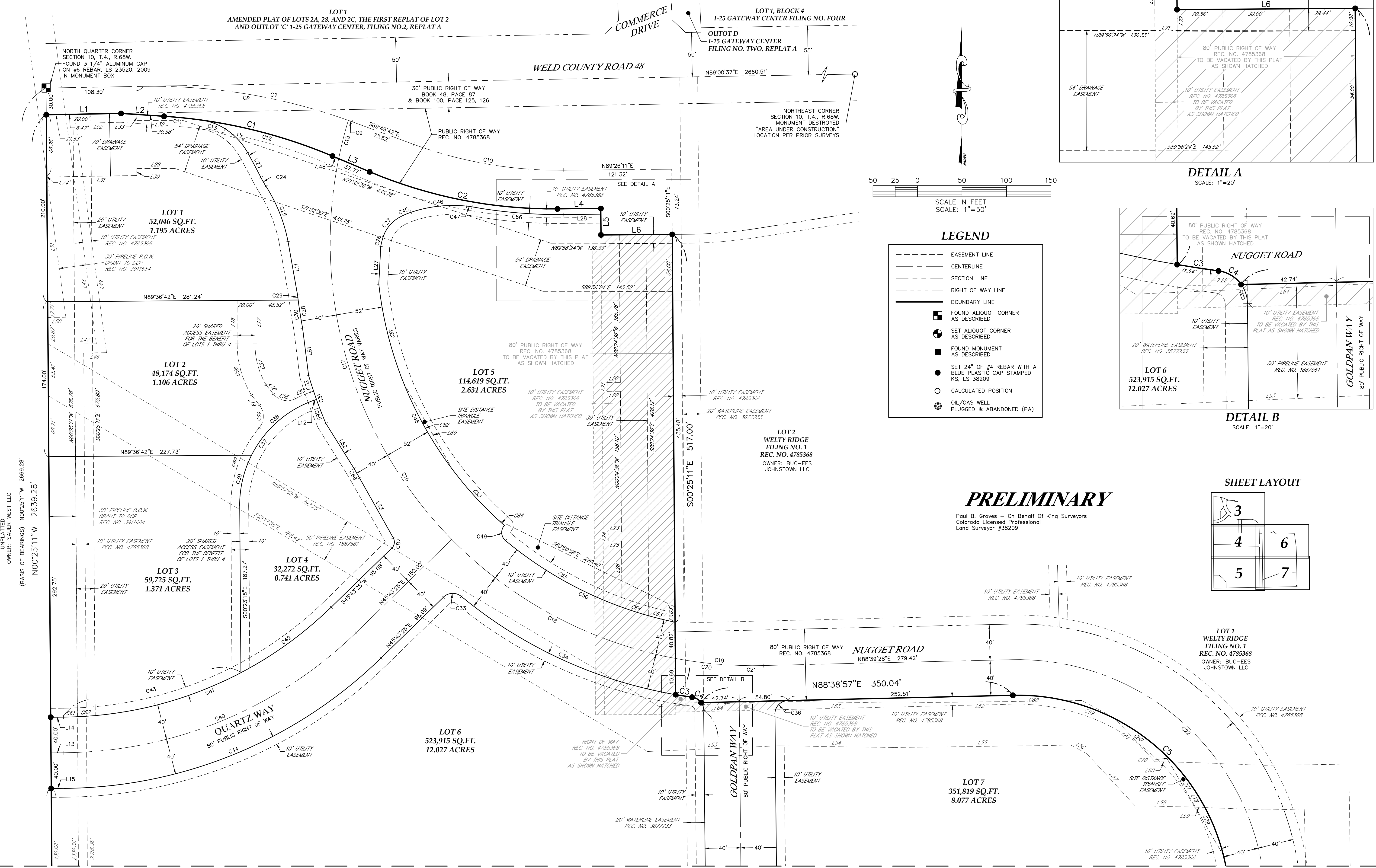
PRELIMINARY

Paul B. Groves - On Behalf Of King Surveyors  
Colorado Licensed Professional  
Land Surveyor #38209

# PRELIMINARY & FINAL PLAT

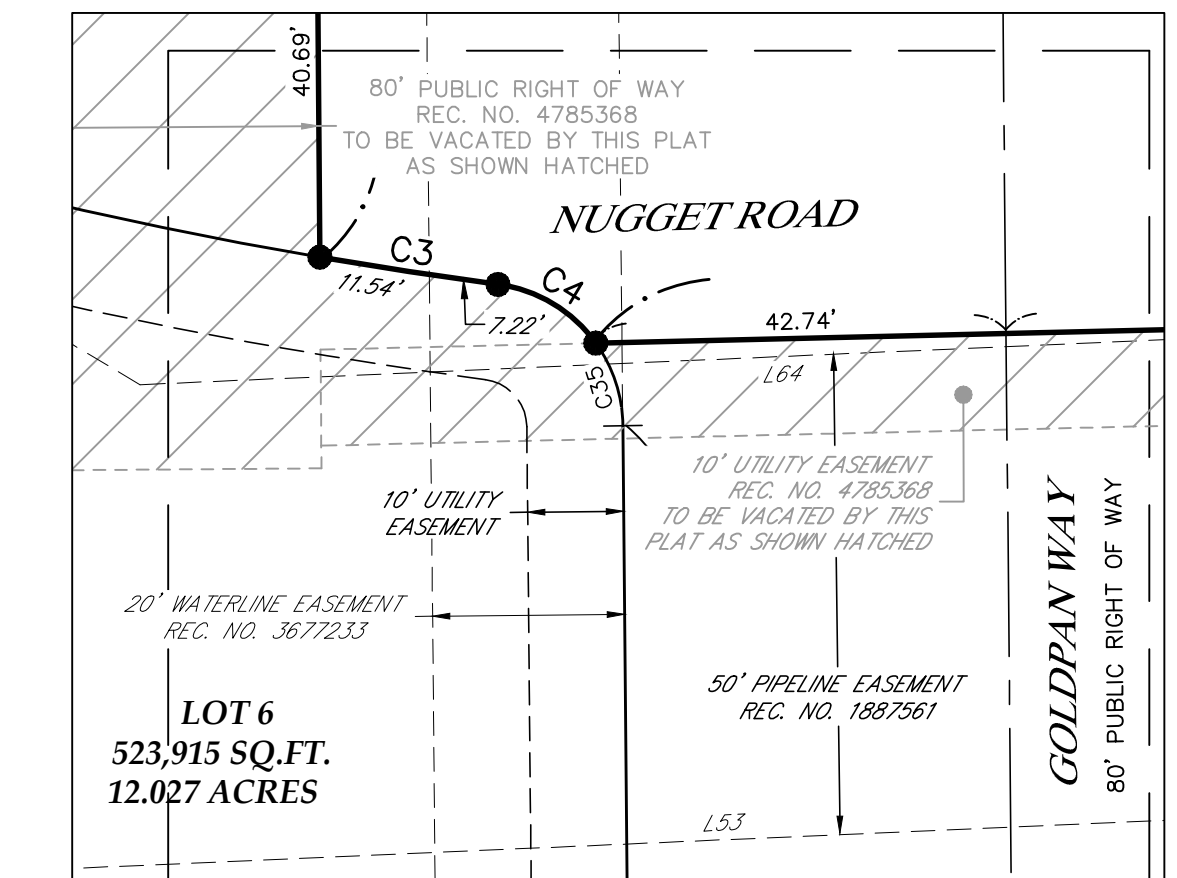
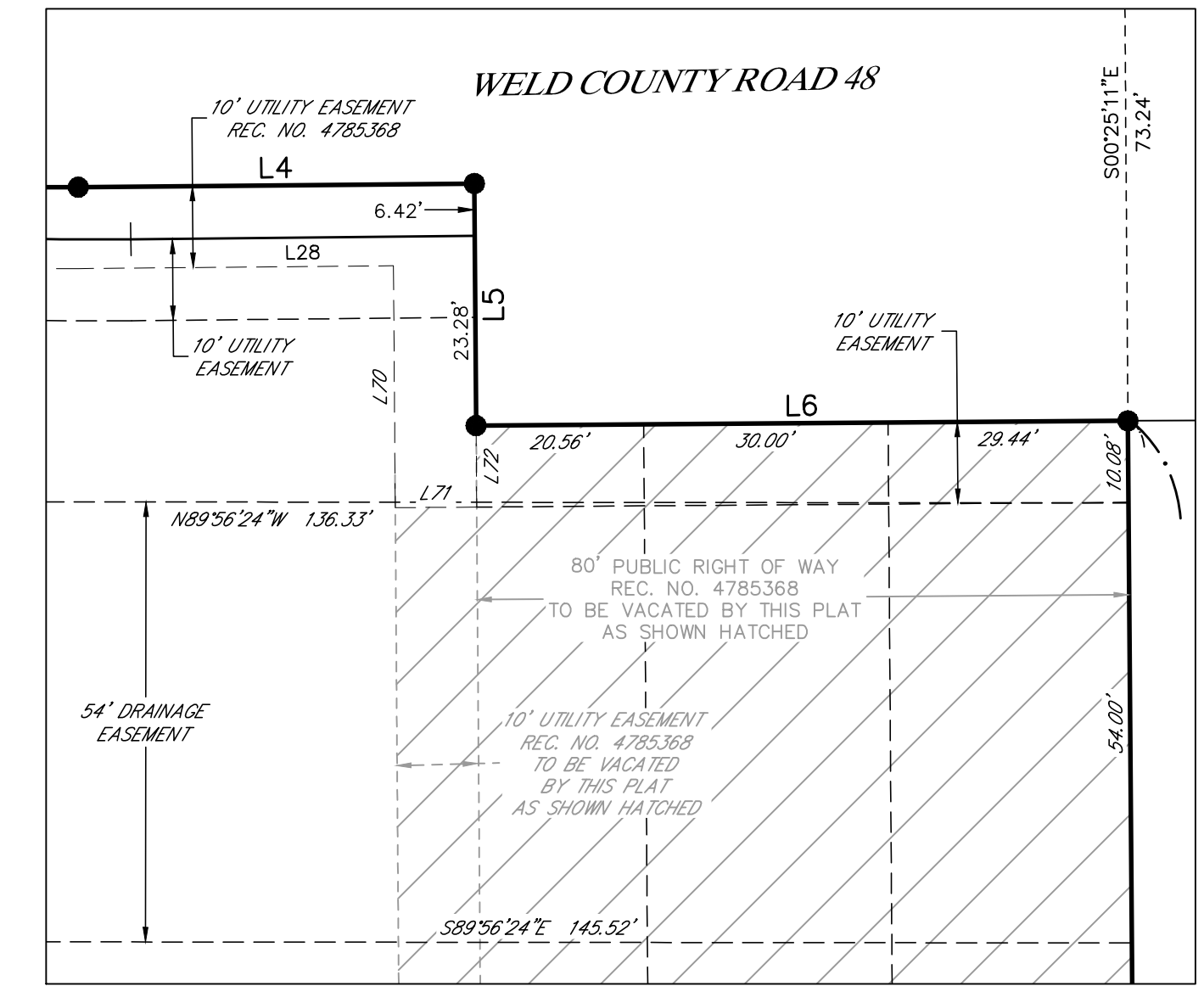
## WELTY RIDGE SUBDIVISION - FILING NO. 2

A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
Town of Johnstown, County of Weld, State of Colorado



SEE SHEET 4 OF 7

SEE SHEET 4 OF 7



Item 4

DATE: 10/16/2023  
FILE NAME: 20230040-SUB  
SCALE: 1"=50'  
DRAWN BY: CSK  
CHECKED BY: PG

**KING SURVEYORS**  
650 E. Garden Drive | Windsor, Colorado 80550  
phone: (970) 686-5011 | email: contact@KingSurveyors.com

DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

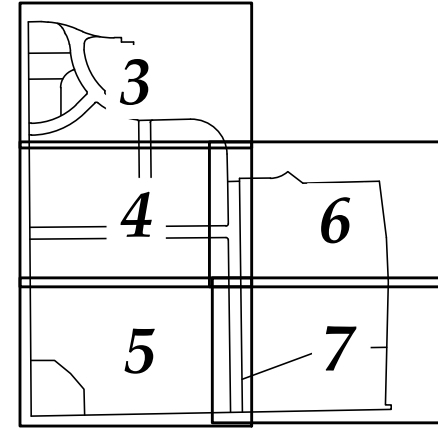
WELTY RIDGE SUBDIVISION - FILING NO. 2  
FOR  
INTERSTATE LAND HOLDING, LLC  
212 EAST 4TH STREET  
LOVELAND, CO 80537

PROJECT #: 20230040

**3**

SHEET 3 OF 7

SHEET LAYOUT



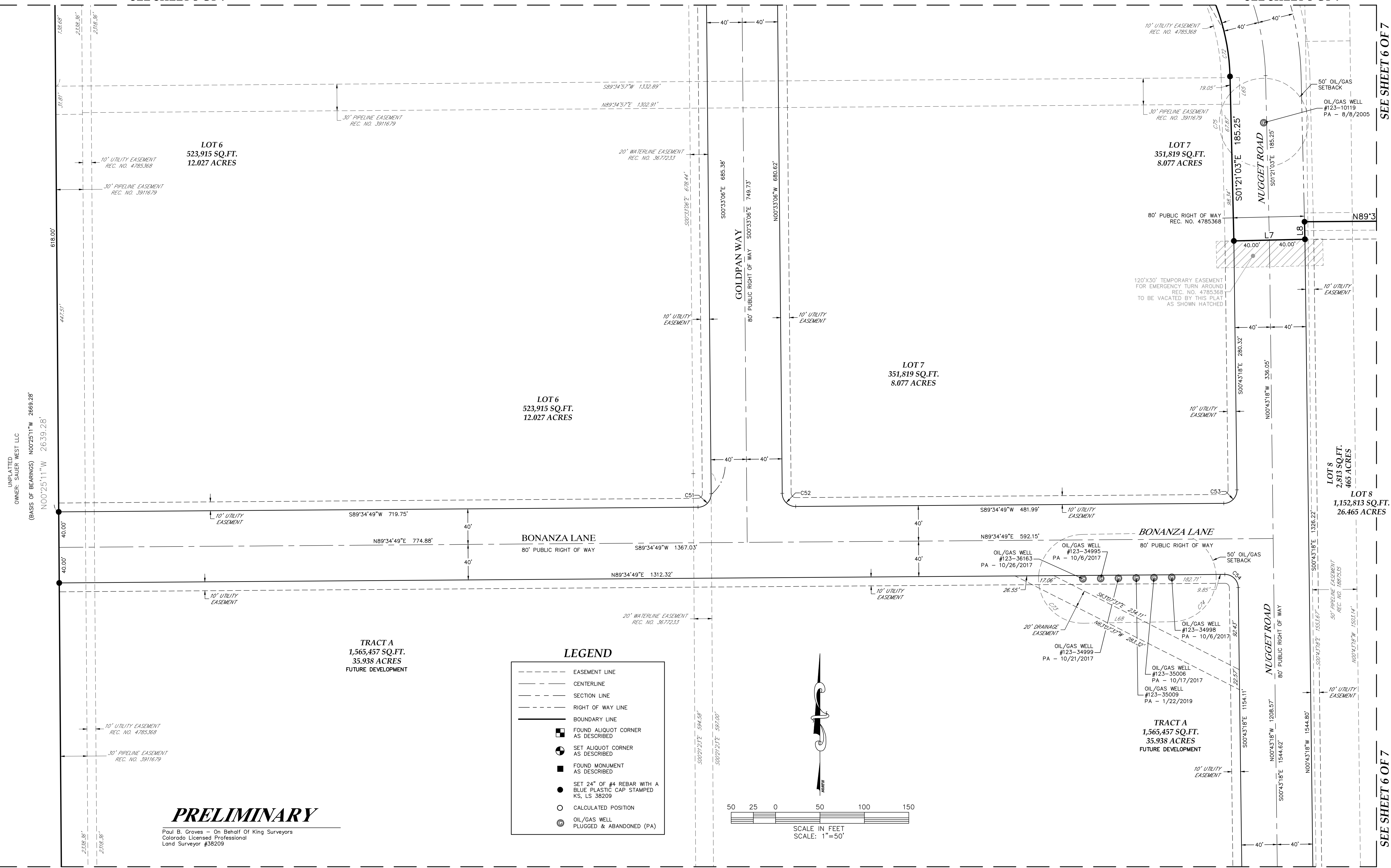
# PRELIMINARY & FINAL PLAT

## WELTY RIDGE SUBDIVISION - FILING NO. 2

A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
 Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
 Town of Johnstown, County of Weld, State of Colorado

SEE SHEET 3 OF 7

SEE SHEET 3 OF 7



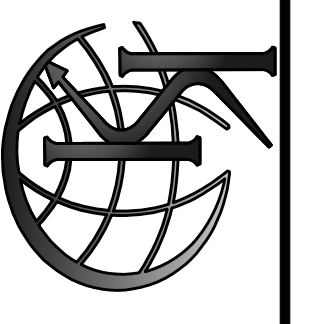
SEE SHEET 6 OF 7

SEE SHEET 6 OF 7

SEE SHEET 5 OF 7

SEE SHEET 5 OF 7

**KING SURVEYORS**  
 650 E. Garden Drive | Windsor, Colorado 80550  
 phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:

DATE:	REVISIONS:

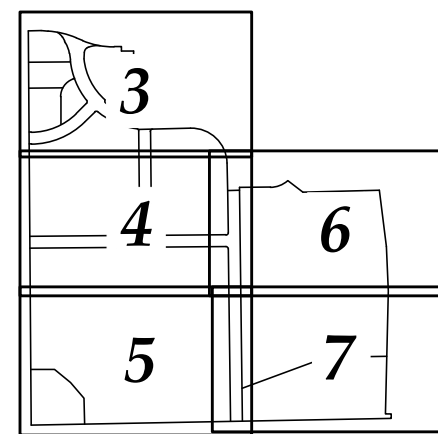
FOR  
**WELTY RIDGE SUBDIVISION - FILING NO. 2**  
**INTERSTATE LAND HOLDING, LLC**  
 212 EAST 4TH STREET  
 LOVELAND, CO 80537

PROJECT #:  
20230040

**4**

DATE: 10/16/2023  
 FILE NAME: 20230040-SUB  
 SCALE: 1"=50'  
 DRAWN BY: CSK  
 CHECKED BY: PG

SHEET LAYOUT



SEE SHEET 4 OF 7

SEE SHEET 4 OF 7

# PRELIMINARY & FINAL PLAT

## WELTY RIDGE SUBDIVISION - FILING NO. 2

A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
 Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
 Town of Johnstown, County of Weld, State of Colorado

TRACT A  
 1,565,457 SQ.FT.  
 35.938 ACRES  
 FUTURE DEVELOPMENT

TRACT A  
 1,565,457 SQ.FT.  
 35.938 ACRES  
 FUTURE DEVELOPMENT

TRACT A  
 1,565,457 SQ.FT.  
 35.938 ACRES  
 FUTURE DEVELOPMENT

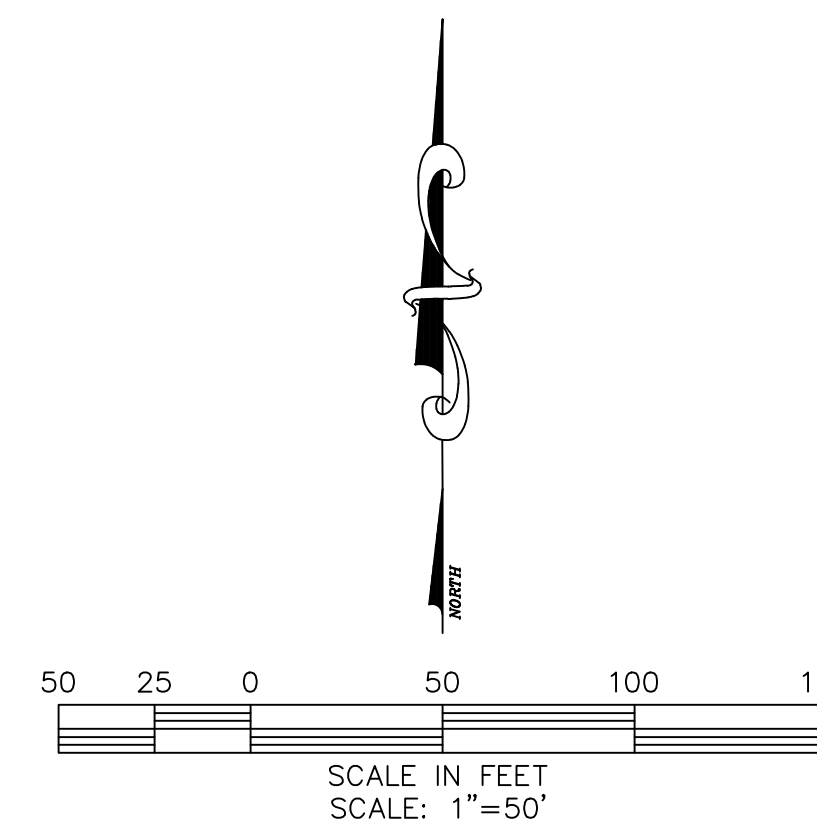
TRACT A  
 1,565,457 SQ.FT.  
 35.938 ACRES  
 FUTURE DEVELOPMENT

LOT 8  
 1,152,813 SQ.FT.  
 26.465 ACRES

LOT 7  
 1,152,813 SQ.FT.  
 26.465 ACRES

TRACT B  
 346,103 SQ.FT.  
 7.945 ACRES

TRACT B  
 346,103 SQ.FT.  
 7.945 ACRES



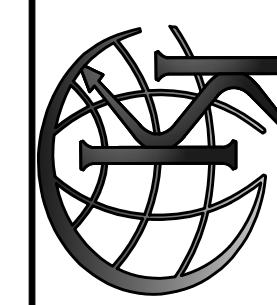
LEGEND

- EASEMENT LINE
- - - CENTERLINE
- - - SECTION LINE
- - - RIGHT OF WAY LINE
- BOUNDARY LINE
- FOUND ALIQUOT CORNER AS DESCRIBED
- SET ALIQUOT CORNER AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 24" OF #4 REBAR WITH A BLUE PLASTIC CAP STAMPED KS, LS 38209
- CALCULATED POSITION
- ⊙ OIL/GAS WELL PLUGGED & ABANDONED (PA)

PRELIMINARY

Paul B. Groves - On Behalf Of King Surveyors  
 Colorado Licensed Professional  
 Land Surveyor #38209

**KING SURVEYORS**  
 650 E. Garden Drive | Windsor, Colorado 80550  
 phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:	DATE:

WELTY RIDGE SUBDIVISION - FILING NO. 2  
 FOR  
 INTERSTATE LAND HOLDING, LLC  
 212 EAST 4TH STREET  
 LOVELAND, CO 80537

PROJECT #:  
 20230040

**5**

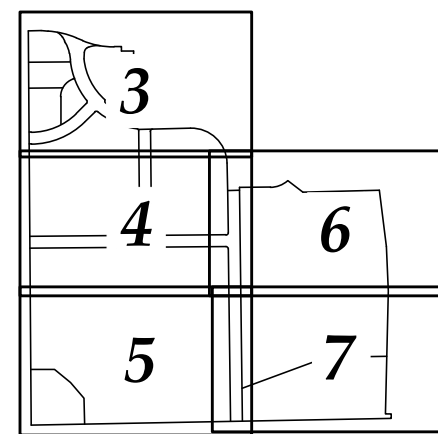
DATE:	10/16/2023
FILE NAME:	20230040-SUB
SCALE:	1"=50'
DRAWN BY:	CSK
CHECKED BY:	PG

# PRELIMINARY & FINAL PLAT

## WELTY RIDGE SUBDIVISION - FILING NO. 2

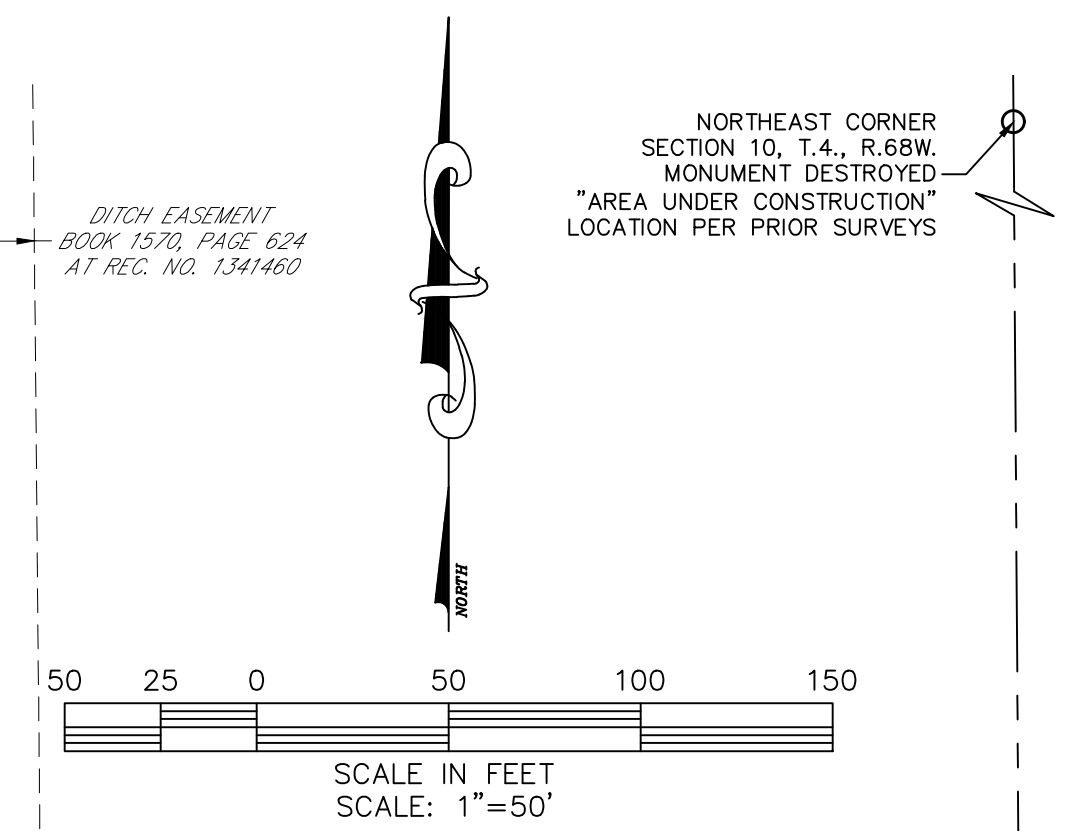
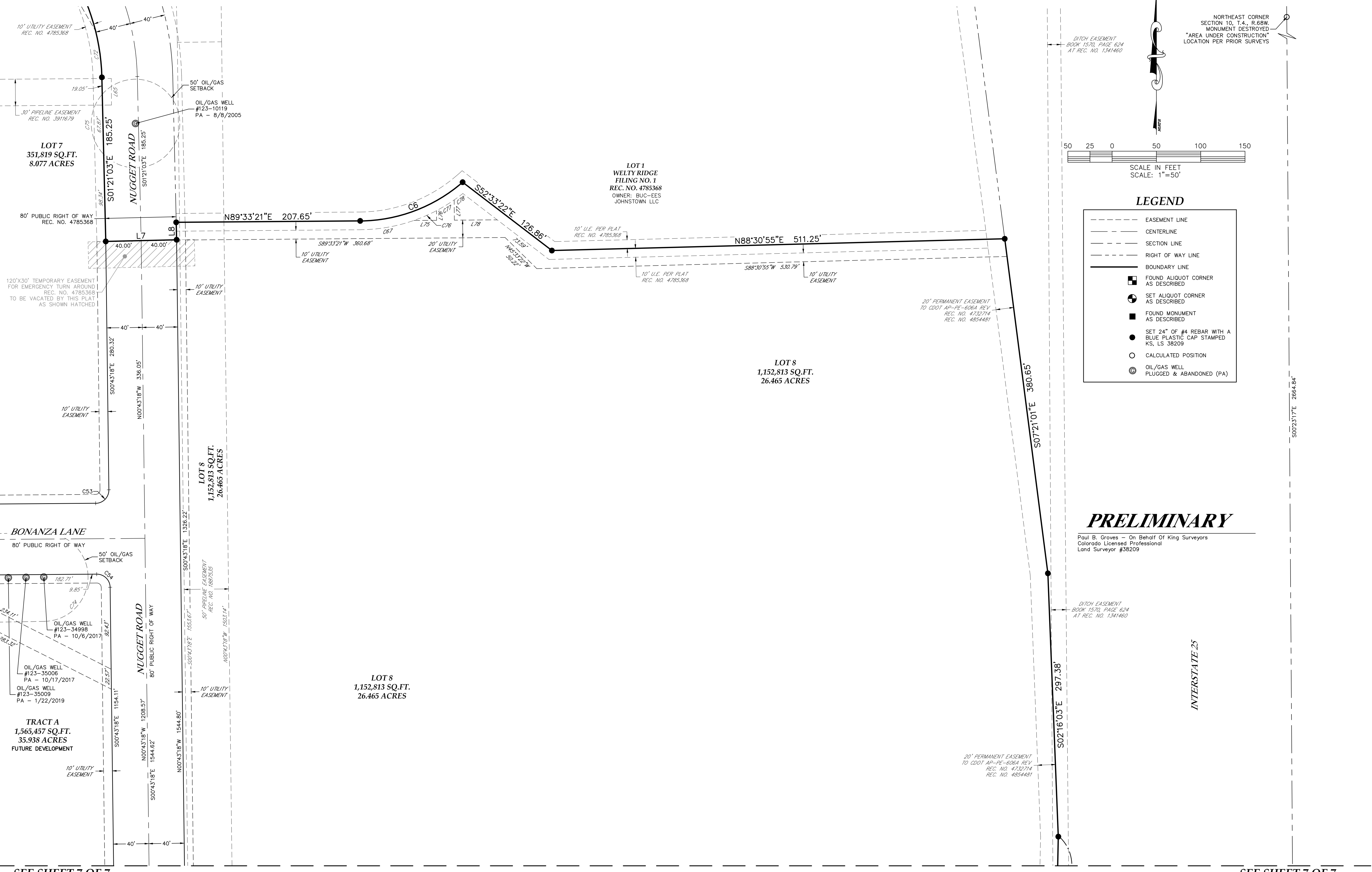
A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive, Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M., Town of Johnstown, County of Weld, State of Colorado

SHEET LAYOUT



SEE SHEET 4 OF 7

SEE SHEET 4 OF 7



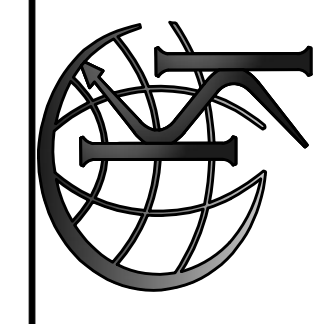
**LEGEND**

	EASEMENT LINE
	CENTERLINE
	SECTION LINE
	RIGHT OF WAY LINE
	BOUNDARY LINE
	FOUND ALIQUOT CORNER AS DESCRIBED
	SET ALIQUOT CORNER AS DESCRIBED
	FOUND MONUMENT AS DESCRIBED
	SET 24" OF #4 REBAR WITH A BLUE PLASTIC CAP STAMPED KS, LS 38209
	CALCULATED POSITION
	OIL/GAS WELL PLUGGED & ABANDONED (PA)

### PRELIMINARY

Paul B. Groves - On Behalf Of King Surveyors  
 Colorado Licensed Professional  
 Land Surveyor #38209

**KING SURVEYORS**  
 650 E. Garden Drive | Windsor, Colorado 80550  
 phone: (970) 686-5011 | email: [contact@KingSurveyors.com](mailto:contact@KingSurveyors.com)



DATE:	
REVISIONS:	

WELTY RIDGE SUBDIVISION - FILING NO. 2  
 FOR  
 INTERSTATE LAND HOLDING, LLC  
 212 EAST 4TH STREET  
 LOVELAND, CO 80537

PROJECT #:  
20230040

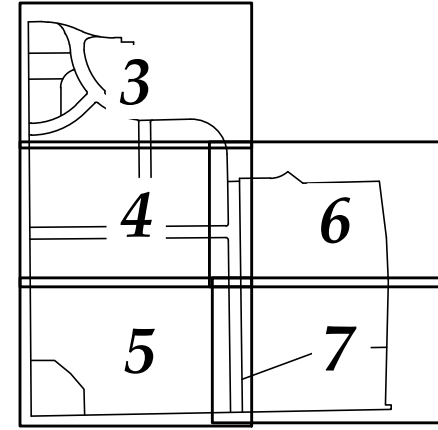
**6**  
SHEET 6 OF 7

DATE:	10/16/2023
FILE NAME:	20230040-SUB
SCALE:	1"=50'
DRAWN BY:	CSK
CHECKED BY:	PG

**PRELIMINARY & FINAL PLAT**  
**WELTY RIDGE SUBDIVISION - FILING NO. 2**

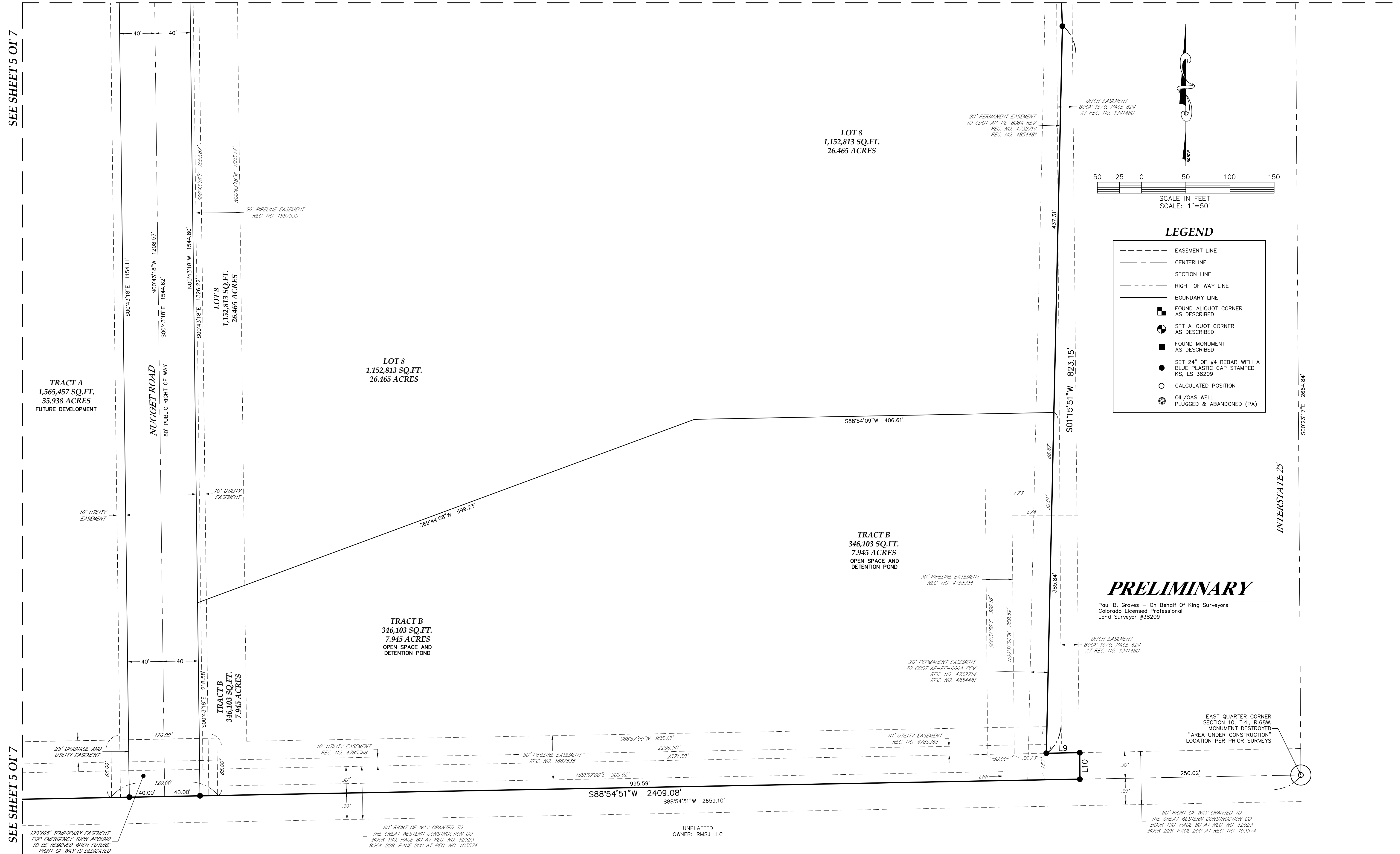
A Replat of Tract A of Welty Ridge Subdivision - Filing No. 1 and the Vacation of Commerce Drive,  
 Situate in the Northeast Quarter of Section 10, Township 4 North, Range 68 West of the 6th P.M.,  
 Town of Johnstown, County of Weld, State of Colorado

SHEET LAYOUT



SEE SHEET 6 OF 7

SEE SHEET 6 OF 7



**KING SURVEYORS**  
 650 E. Garden Drive | Windsor, Colorado 80550  
 phone: (970) 686-5011 | email: contact@KingSurveyors.com

DATE:	
REVISIONS:	

**WELTY RIDGE SUBDIVISION - FILING NO. 2**  
 FOR  
**INTERSTATE LAND HOLDING, LLC**  
 212 EAST 4TH STREET  
 LOVELAND, CO 80537

**PROJECT #:**  
20230040

**7**  
SHEET 7 OF 7

P:\2023\30040\dwg\20230040SUB.dwg, SHEET (7), 12/11/2023 12:24:40 PM, 1:1



# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

### PROJECT INTENT

THE INTENT OF THIS OUTLINE DEVELOPMENT PLAN (ODP) IS TO PROVIDE OVERLAY ZONING TO THE 140+ ACRE WELTY RIDGE PROPERTY. WELTY RIDGE IS ENVISIONED AS A MIXED USE DEVELOPMENT WHICH INCLUDES PLANNING AREAS DESIGNATED FOR RESIDENTIAL, RETAIL, COMMERCIAL, LIGHT INDUSTRIAL, AND OFFICE USES. THIS DOCUMENT WILL GUIDE THE OVERALL CHARACTER OF WELTY RIDGE TO ENSURE THE QUALITY AND COHESIVENESS DESIRED IN THIS EMERGING PART OF NORTHERN COLORADO.

### LEGAL DESCRIPTION

THE NE ¼ OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO, EXCEPT THAT PORTION CONVEYED IN BOOK 1570 AT PAGE 620.

### GENERAL NOTES

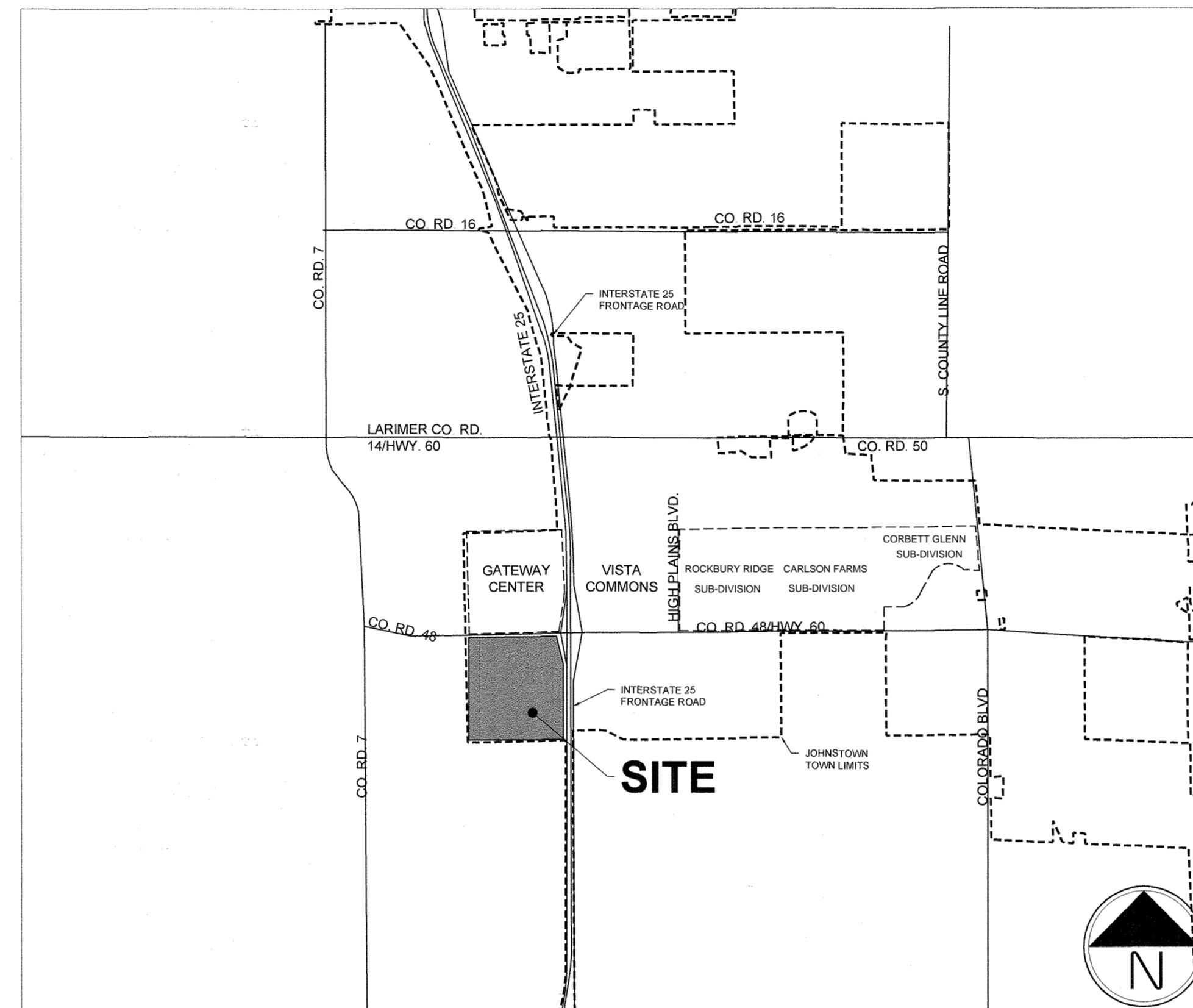
- A. COMMERCIAL, OFFICE OR MULTI-FAMILY DEVELOPMENTS CAN OCCUPY THE SAME LOT, MIXED HORIZONTALLY OR VERTICALLY.
- B. ALL UNPLATTED PROPERTY (PER THE FINAL PLAT SUBDIVISION PROCESS) WITHIN THIS PUD MAY REMAIN IN AGRICULTURAL USE UNTIL SUCH TIME AS DEVELOPMENT OF THAT AREA BEGINS.
- C. LANDSCAPING, SIGNAGE, ARCHITECTURE, NON-RESIDENTIAL PARKING, FENCING AND LIGHTING FOR DEVELOPMENT WITH THIS PUD SHALL EITHER FOLLOW THOSE APPLICABLE STANDARDS IN THE TOWN OF JOHNSTOWN MUNICIPAL CODE OR THE DEVELOPER MAY FORMULATE DESIGN STANDARDS REGULATING THE DESIGN, CHARACTER, LOCATION AND OTHER DETAILS OF THESE ELEMENTS PRIOR TO THEIR IMPLEMENTATION. THE DEVELOPER-FORMULATED DESIGN STANDARDS MUST RECEIVE TOWN APPROVAL PRIOR TO IMPLEMENTATION.
- D. WHERE A PROPOSED USE IS NOT LISTED IN THE ODP, IT MAY BE ALLOWED IF DETERMINED IN WRITING BY PLANNING AND DEVELOPMENT DIRECTOR TO BE SIMILAR IN CHARACTER AND OPERATION, AND HAVING THE SAME OR LESSER IMPACT, AS USES THAT ARE ALLOWED.
- E. ALL DRAINAGE ELEMENTS ARE CONCEPTUAL IN NATURE AND FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE IN ACCORDANCE WITH THE APPLICABLE FINAL DRAINAGE REPORTS AND PLANS.

### DEVELOPMENT PHASING

PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE, AND MARKET CONDITIONS. THE PROJECT WILL BE BUILT IN MULTIPLE PHASES, AS CONDITIONS DICTATE.

### RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE. WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD - OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS - DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT, THE JOHNSTOWN MUNICIPAL AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES.



VICINITY MAP

1"=3000'



EXISTING ZONING

1"=500'

### APPROVALS

#### TOWN COUNCIL

THIS OUTLINE DEVELOPMENT PLAN, TO BE KNOWN AS WELTY RIDGE ODP, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER 2020-167 PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE 10<sup>th</sup> DAY OF January, 2020.

BY: [Signature]  
MAYOR

ATTEST: [Signature]  
TOWN CLERK

#### AMENDMENT 1

THIS OUTLINE DEVELOPMENT PLAN, TO BE KNOWN AS AMENDMENT 1, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER \_\_\_\_\_ PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
TOWN CLERK

### SHEET INDEX = Sheets being amended

- |       |                          |
|-------|--------------------------|
| 1     | COVER                    |
| 2     | LAND USE PLAN            |
| 3-4   | LAND USE MATRIX          |
| 5     | CIRCULATION PLAN         |
| 6     | STREET SECTIONS          |
| 7     | TRAILS & OPEN SPACE PLAN |
| 8     | CONCEPTUAL UTILITY PLAN  |
| 9     | CONCEPTUAL GRADING PLAN  |
| 10    | DEVELOPMENT STANDARDS    |
| 11-12 | DESIGN GUIDELINES        |

### OWNER

PLATTE LAND & WATER, LLC  
210 UNIVERSITY BLVD.  
SUITE 710  
DENVER, CO 80206  
303-263-2105

### PROJECT MANAGER

ERIK HALVERSON  
LAND ASSET STRATEGIES, LLC  
15400 WEST 64TH AVENUE  
SUITE 109  
ARVADA, CO 80007  
970-319-5836  
ehalverson@landassetstrategies.com

### ENGINEER

KEVIN ROHRBOUGH  
CORE CONSULTANTS  
1950 W LITTLETON BLVD.  
SUITE 109  
LITTLETON, CO 80120  
303-703-4444  
rohrbough@corecivil.com

### PLANNER

JEFF MARCK  
TERRACINA DESIGN  
10200 E. GIRARD AVENUE  
BLDG. A, SUITE 314  
DENVER, CO 80231  
303-632-8867  
jmarck@terracinadesign.com

### AMENDMENT ENGINEER

KYLE WATSON  
KIMLEY-HORN & ASSOCIATES  
4582 S ULSTER STREET  
ST. 1500  
DENVER, CO 80210  
720-943-5665  
kyle.watson@kimley-horn.com

WELTY RIDGE  
JOHNSTOWN, CO  
OUTLINE DEVELOPMENT PLAN  
COVER

DESIGNED BY: JM  
DRAWN BY: KB  
CHECKED BY: JM

AMENDED  
SHEET  
1 OF 12

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

## A. INTRODUCTION

THE PURPOSE OF THIS SECTION IS TO ESTABLISH GENERAL PROVISIONS AND CLARIFY STANDARDS AND REQUIREMENTS FOR DEVELOPMENT WITHIN THE WELTY RIDGE PUD. DUE TO THE SIZE OF LAND AREA CONTAINED WITHIN THIS PUD AND THE CORRESPONDING LONG TERM BUILD OUT THAT IS ANTICIPATED, A RATHER BROAD RANGE OF DENSITIES AND/OR SQUARE FOOTAGES HAVE BEEN PROPOSED FOR EACH LAND USE PARCEL. THESE RANGES WILL ALLOW A VARIETY OF COMMERCIAL, LIGHT INDUSTRIAL, AND HOUSING PRODUCTS. IN ADDITION TO PROMOTING LAND USE AND DENSITY FLEXIBILITY, RANGES WILL ACCOMMODATE HOUSING PRODUCT, LAND PLANNING, MARKET AND TECHNOLOGICAL CHANGES INTO THE FUTURE. REFER TO THE PLANNING AREA SUMMARY FOR SPECIFIC DENSITIES AND SQUARE FOOTAGES.

## B. DENSITY RANGES

RESIDENTIAL DENSITY RANGES ARE SPECIFIED WITHIN EACH ZONE AS LABELED ON THE LAND USE PLAN (REFER TO THE PLANNING AREA SUMMARY WITHIN THIS DOCUMENT FOR DENSITY RANGES). THE FINAL AVERAGE DENSITY OF A DEVELOPMENT PARCEL MUST BE WITHIN 10% THE SPECIFIED DENSITY RANGE INDICATED FOR THAT PLANNING AREA. THE FINAL AVERAGE DENSITY OF A PLANNING AREA SHALL BE BASED ON ALL RESIDENTIAL UNITS APPROVED THROUGH THE FINAL PLAT PROCESS WITHIN THE PLANNING AREA, WHETHER APPROVED AS A SINGLE PLAT OR AS MULTIPLE PLATS.

## C. MAXIMUM RESIDENTIAL UNITS PER AREA

TRANSFER(S) OF RESIDENTIAL UNITS FROM PLANNING AREA TO PLANNING AREA (TRANSFER OF UNITS MAY NOT EXCEED 30% OF THE RECIPIENT PLANNING AREA MAX UNITS PER AREA) MAY BE PERMITTED BY THE DEVELOPER WITH APPROVAL BY THE PLANNING AND DEVELOPMENT DIRECTOR. UNIT TRANSFERS SHALL BE TRACKED BY THE DEVELOPER AND PROVIDED TO THE PLANNING AND DEVELOPMENT DIRECTOR WITH EACH SUCH TRANSFER AT THE FINAL PLAT STAGE OF THE SUBDIVISION PROCESS. HOWEVER, AT NO TIME SHALL THE TOTAL RESIDENTIAL UNITS WITHIN THIS PUD EXCEED 850 WITHOUT AN AMENDMENT TO THE ODP, APPROVED BY TOWN COUNCIL.

## D. RESIDENTIAL UNITS TRANSFERS

ONCE A PLANNING AREA HAS BEEN FULLY PLATTED THROUGH THE FINAL PLAT PROCESS, ANY REMAINING RESIDENTIAL DENSITY/UNITS DESIGNATED ON THE PUD ZONE DOCUMENT WITHIN SAID PLANNING AREA SHALL REMAIN AVAILABLE FOR TRANSFER TO OTHER REMAINING RECIPIENT PLANNING AREAS.

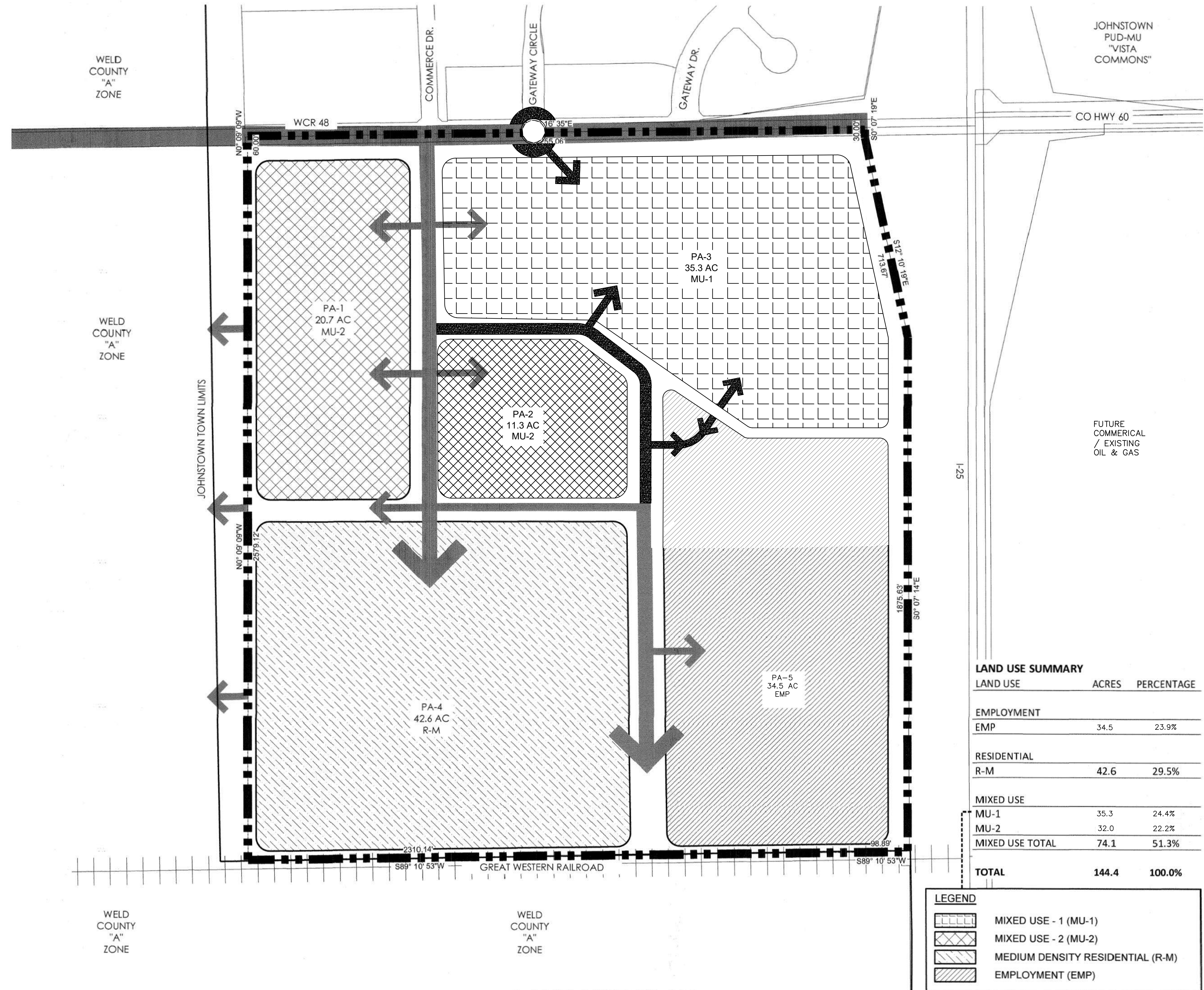
## E. PLANNING AREA BOUNDARIES

PLANNING AREA ACREAGES AND BOUNDARIES ARE CONCEPTUAL AND SUBJECT TO CHANGE WITH DETAILED PLANNING. PLANNING AREA ACREAGES MAY CHANGE UP TO 30% WITH APPROVAL BY THE PLANNING AND DEVELOPMENT DIRECTOR. SUCH CHANGES WILL RESULT IN CORRESPONDING CHANGES TO THE MAX SQ. FT./AREA OR MAX UNITS/AREA SHOWN IN THE PLANNING AREA SUMMARY.

IF PLANNING AREA CHANGES ARE MADE, ALL STREET CLASSIFICATIONS (AS SHOWN ON SHEET 6) ARE SUBJECT TO CHANGE.

## F. MAXIMUM COMMERCIAL SQUARE FOOTAGE PER AREA

TRANSFER(S) OF COMMERCIAL SQUARE FOOTAGE FROM PLANNING AREA TO PLANNING AREA (TRANSFER OF SQUARE FOOTAGE MAY NOT EXCEED 30% OF THE RECIPIENT PLANNING AREA MAX SQ. FT. PER AREA) MAY BE PERMITTED WITH APPROVAL BY THE PLANNING AND DEVELOPMENT DIRECTOR. SQUARE FOOTAGE TRANSFERS SHALL BE TRACKED BY THE DEVELOPER AND PROVIDED TO THE PLANNING AND DEVELOPMENT DIRECTOR WITH EACH SUCH TRANSFER AT THE FINAL PLAT STAGE OF THE SUBDIVISION PROCESS. HOWEVER, AT NO TIME SHALL THE OVERALL PUD COMMERCIAL SQUARE FOOTAGE EXCEED 700,000 SQUARE FEET WITHOUT AN AMENDMENT TO THE ODP, APPROVED BY TOWN COUNCIL.



LAND USE SUMMARY		
LAND USE	ACRES	PERCENTAGE
<b>EMPLOYMENT</b>		
EMP	34.5	23.9%
<b>RESIDENTIAL</b>		
R-M	42.6	29.5%
<b>MIXED USE</b>		
MU-1	35.3	24.4%
MU-2	32.0	22.2%
<b>MIXED USE TOTAL</b>	<b>74.1</b>	<b>51.3%</b>
<b>TOTAL</b>	<b>144.4</b>	<b>100.0%</b>

LEGEND	
[Grid Pattern]	MIXED USE - 1 (MU-1)
[Cross-hatch Pattern]	MIXED USE - 2 (MU-2)
[Diagonal Lines]	MEDIUM DENSITY RESIDENTIAL (R-M)
[Horizontal Lines]	EMPLOYMENT (EMP)

### PLANNING AREA SUMMARY

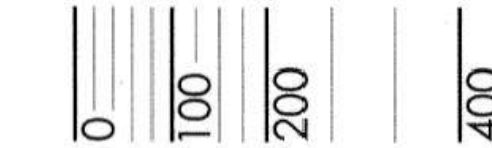
PLANNING AREA	LAND USE	APPROX. ACRES	COMMERCIAL MAX SQ.FT./AREA	RESIDENTIAL		
				MIN. DU /ACRE	MAX. DU /ACRE	MAX UNITS/AREA
PA-1	MIXED USE-2	20.7	270508.00	3	15	311
PA-2	MIXED USE-2	11.3	147668.00	3	15	170
PA-3	MIXED USE-1	35.3	461301.00			243
PA-4	MEDIUM DENSITY RESIDENTIAL	42.6		3	6	256
PA-5	EMPLOYMENT	34.5	450846.00			

### DENSITY TRANSFER TRACKING CHART

PLANNING AREA	APPROVED DENSITY PRIOR TO TRANSFER		APPROVED DENSITY AFTER TRANSFER	
	ACRES	RESIDENTIAL UNITS	DENSITY TRANSFER	RESIDENTIAL UNITS
X				
Y				
Z				
TOTAL				

## LAND USE PLAN

Scale: 1"= 200'-0"



ODP REVISION 02/23/2021  
**Kimley»Horn**

terracing design  
 ED  
 10200 E. Grand Ave., Ste. A-314  
 Denver, CO 80231  
 (303) 750-0000

**PLATTE**  
 LAND & WATER, LLC

**CORE**  
 CONSULTANTS

#	REVISION DESCRIPTION	DATE	BY	#
1	APPROVED ODP	JANUARY 22, 2020		

**WELTY RIDGE**  
 JOHNSTOWN, CO  
 OUTLINE DEVELOPMENT PLAN  
 LAND USE PLAN

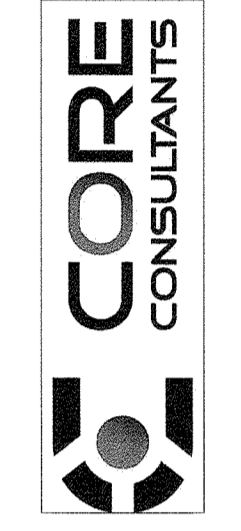
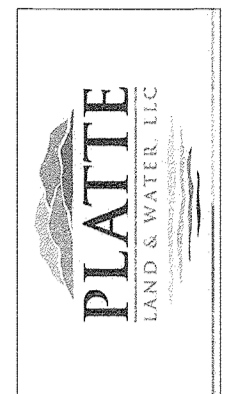
DESIGNED BY: JM  
 DRAWN BY: KB  
 CHECKED BY: JM

AMENDED SHEET  
 2 OF 12

1/29/2020 10:22 AM: P:\PLATTE\LAND & WATER\GREAT PLAINS\WELTY RIDGE\SUBMITTALS\WELTY RIDGE\ODP\LAND USE PLAN.DWG

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO



BY		DATE		REVISION DESCRIPTION		#	
		JANUARY 22, 2020		1. APPROVED COP		1	

**WELTY RIDGE**  
 JOHNSTOWN, CO  
 OUTLINE DEVELOPMENT PLAN  
 LAND USE MATRIX

DESIGNED BY: JM  
 DRAWN BY: KB  
 CHECKED BY: JM

AMENDED SHEET  
 3 OF 12

LAND USE CLASSIFICATION	SPECIFIC USE TYPE				
<b>AGRICULTURAL USES</b>		<b>MU-1</b>	<b>MU-2</b>	<b>EMP</b>	<b>R-M</b>
Agriculture or Ranch Use	Agriculture	X	X	X	X
	Community Gardens	X	X	X	X
Accessory Structures	Accessory Structures for Agriculture/ Ranching Operations	X	X	X	X
Animals / Livestock	Farm or Ranch Animal Center*	C	-	C	-
	Rodeos*	-	-	C	-
	Commercial Stables*	-	-	C	-
	Private Stables*	-	-	C	-
Horticulture and Nurseries	Outdoor Nursery / Tree Production	C	-	X	-
	Greenhouse/nursery/tree production	C	-	X	-
Markets	Farmers Markets	X	X	X	C
<b>COMMERCIAL USES</b>		<b>MU-1</b>	<b>MU-2</b>	<b>EMP</b>	<b>R-M</b>
Animal Services	Animal boarding (indoor) and training**	C	C	C	C
	Veterinary offices or clinics	X	X	X	-
Vehicle Parking	Vehicle parking lot	A	A	C	A
	Private park & ride lot, car pool lot or equivalent	X	X	X	-
Building Materials & Services (Retail)	Landscape equipment, hardscape materials (with outdoor storage)	C	-	C	-
Eating and Drinking Establishments	Bar, Tavern/Pub, Beer Tasting/Tap Room	X	X	X	-
	Catering services	X	X	X	-
	Restaurant with or without drive-thru / up	X	X	X	-
Office	Business or professional office (including medical / dental office / clinics)	X	X	X	-
	Call Centers	X	-	X	-
	Courier services	X	X	X	-
	Home Occupations	X	X	-	A
	Temporary Construction offices	X	X	X	X
Temporary Sales Offices	X	X	X	X	
Personal Services	Instructional services, studios, photography, salons/spas	X	X	X	-

\*ANIMAL/LIVESTOCK USES ARE CONDITIONAL USES IF WITHIN 250 FEET OF A RESIDENTIAL USE, BUT ARE PERMITTED USE-BY-RIGHT OUTSIDE OF THE 250 FOOT LIMIT FROM RESIDENTIAL USES.  
 \*\*ANIMAL BOARDING AND TRAINING IS A CONDITIONAL USE IF WITHIN 250 FEET OF A RESIDENTIAL USE, BUT IS A PERMITTED USE-BY-RIGHT OUTSIDE OF THE 250 FOOT LIMIT FROM RESIDENTIAL USES.

<b>LEGEND</b>	
X	PRINCIPAL PERMITTED USE
A	ACCESSORY USE
-	EXCLUDED USE
C	CONDITIONAL USE
<b>LAND USE</b>	
MIXED USE 1 (MU-1)	
MIXED USE 2 (MU-2)	
MEDIUM DENSITY RESIDENTIAL (R-M)	
EMPLOYMENT (EMP)	

**MIXED USE 1 (MU-1):** PREDOMINANTLY A LARGE COMMERCIAL/LIGHT INDUSTRIAL FOCUS. THIS ZONE ALLOWS FOR LIGHT INDUSTRIAL AND WAREHOUSING USES ALONG WITH COMMERCIAL AND MULTI-FAMILY USES.

**MIXED USE 2 (MU-2):** PREDOMINANTLY A NEIGHBORHOOD COMMERCIAL / RESIDENTIAL FOCUS. THIS ZONE PRIMARILY ALLOWS FOR COMMERCIAL USES ALONG WITH HIGH DENSITY RESIDENTIAL.

**MEDIUM DENSITY RESIDENTIAL (R-M):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED HOMES AND SINGLE FAMILY ATTACHED HOMES.

**EMPLOYMENT (EMP):** THE INTENT IS TO PROVIDE AREAS THAT WILL SERVE AS AN EMPLOYMENT CENTER OR OFFICE PARK THAT CAN ACCOMMODATE BUT NOT LIMITED TO CORPORATE CAMPUS, RESEARCH AND DEVELOPMENT, LIGHT INDUSTRIAL, OFFICE/FLEX, RETAIL, COMMERCIAL, WAREHOUSE AND DISTRIBUTION.

LAND USE CLASSIFICATION	SPECIFIC USE TYPE				
<b>COMMERCIAL USES</b>		<b>MU-1</b>	<b>MU-2</b>	<b>EMP</b>	<b>R-M</b>
Recreation / Amusement Facilities	Permanent or Seasonal Amusement Parks	C	-	X	-
	Entertainment - Indoor	X	X	X	-
	Entertainment - Outdoor	X	X	X	-
	Movie theaters or Drive-in Theater	C	-	X	-
	Health clubs	X	X	X	-
	Parks and dog parks	X	X	X	X
	Public and Private Golf Courses and Related Facilities	X	X	X	X
	Outdoor Skateboard Parks	X	X	X	C
	Community / Neighborhood Recreation Center	X	X	X	X
	Small Theaters (Outdoor Performances)	X	X	X	X
Retail	Convenience store / grocery store *** (with or without gas)	X	X	X	-
	Ground floor retail with office or residential on upper levels	X	X	-	-
	Retail	X	X	X	-
Repair Services (Not Including Vehicles)	Furniture or major household appliance or electronics repair	X	-	X	-
	Machinery, excluding truck trailers, heavy equipment, and farm machinery	-	-	X	-
Vehicle / Equipment Sales and Services	Vehicle rentals with lot	C	-	C	-
	Auto Sales and Repair (equal to or less than 4 repair bays)	X	-	X	-
	Auto Sales and Repair (more than 4 repair bays)	C	-	X	-
	Car Wash	X	X	X	-
	RV's, Trailer, Camper, and Limited Equipment (U-Haul type business) rentals	C	-	C	-
	Major vehicle/equipment repair with outdoor storage (includes auto body repair, paint shops, and incidental sales of parts)	-	-	C	-
	Major vehicle/equipment repair without outdoor storage (includes auto body repair, paint shops, and incidental sales of parts)	-	-	X	-
Motor vehicle dealer / sales, new and used RV's, trailers, and campers)	C	-	C	-	
Visitor Accommodations	Automotive service stations	X	X	X	-
	Hotel or motel lodging establishments	X	X	X	-
	Overnight Campground with RV parking	C	-	C	-

\*\*\* the 5,000 SF limitation has been removed in the convenience store/gas station land use table

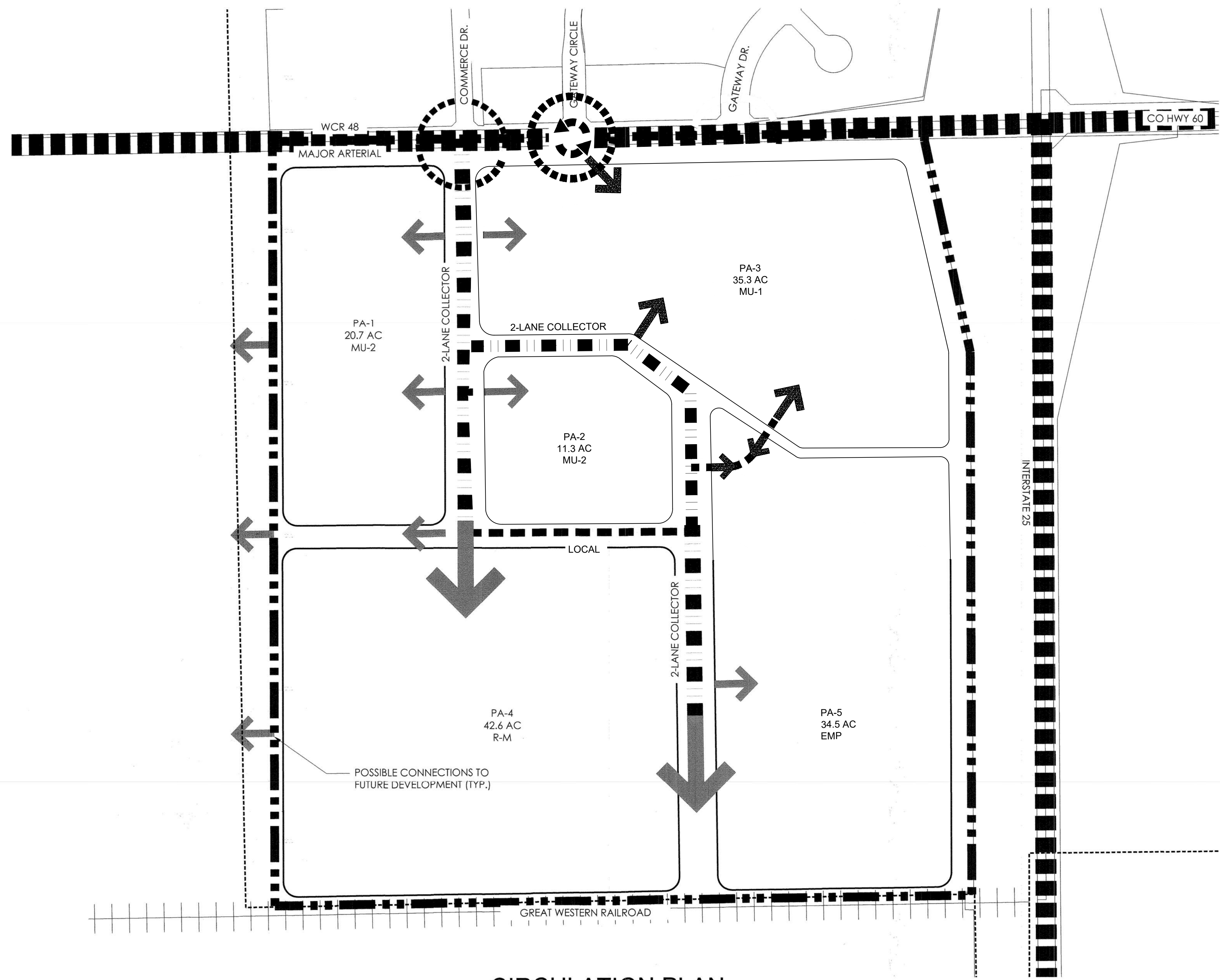
**DEFINITIONS:**

1. LIGHT INDUSTRIAL - LABOR-INTENSIVE OPERATIONS THAT TYPICALLY PRODUCE PRODUCTS THAT ARE TARGETED TOWARD END CONSUMERS RATHER THAN OTHER BUSINESSES (I.E. CONSUMER ELECTRONICS, CLOTHING MANUFACTURING, ETC.)
2. CLUSTER HOMES - ANY RESIDENTIAL GROUPING OF AT LEAST TWO HOMES WHICH ACCESS OFF A COMMON/SHARED DRIVE OR ALLEY.
3. MOTOR COURT - A TYPE OF CLUSTER HOME WITH A SHARED DRIVEWAY IN WHICH SOME OR ALL FRONT DOORS ACCESS OFF SHARED DRIVEWAY.
4. GREEN COURT - A TYPE OF CLUSTER HOME WITH SHARED DRIVEWAY AND COMMON OPEN AREA.
5. OPEN AREA - A PRIVATELY OR PUBLICLY OWNED AND MAINTAINED LAND AREA OR BODY OF WATER OR BOTH WITHIN A DEVELOPMENT UPON WHICH THERE ARE NO STRUCTURES, PARKING AREAS, OR DRIVEWAYS. OPEN AREA MAY BE A LANDSCAPED AREA, PLAZA, RECREATIONAL AREA, SIDEWALKS, OR SUCH OTHER AREAS. LANDSCAPE AND WALKS LOCATED IN RIGHT-OF-WAY CAN NOT BE COUNTED TOWARDS OPEN AREA REQUIREMENT.
6. USABLE OPEN AREA - A PARCEL OF LAND OWNED AND MAINTAINED BY A TOWN, METRO DISTRICT, OR HOME OWNERS' ASSOCIATION WHICH MEETS THE CRITERIA OF OPEN AREA AND IS PROGRAMMED AS AN ACTIVE OR PASSIVE AREA IN WHICH RESIDENTS CAN UTILIZE THE SPACE FOR, BUT IS NOT LIMITED TO, SEATING, SPORTS, PARKS, TRAILS, OR GARDENS.
7. A LIVE/WORK UNIT IS DEFINED AS A SINGLE UNIT CONSISTING OF BOTH A COMMERCIAL/OFFICE AND A RESIDENTIAL (PRIMARY DWELLING) COMPONENT THAT IS OCCUPIED BY THE SAME RESIDENT.

4575191 Pages: 5 of 12  
03/16/2020 10:59 AM R Fee: \$123.00  
Carly Koops, Clerk and Recorder, Weld County, CO

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO



### CIRCULATION PLAN

**LEGEND**

- COLLECTOR (2-LANE & 4-LANE)
- MAJOR ARTERIAL/HIGHWAY
- LOCAL
- PROPOSED\* FULL MOVEMENT INTERSECTION
- POTENTIAL ACCESS
- PROPOSED ROUNDABOUT

Scale: 1"= 200'-0"

ALL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER DETAILED REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE PLANS ARE INCLUDED TO ILLUSTRATE THE OVERALL CONCEPTS ONLY.

\*DEPENDENT ON TRAFFIC IMPACT STUDY AT TIME OF INDIVIDUAL DEVELOPMENT APPROVALS

ODP REVISION 02/23/2021  
**Kimley»Horn**

**terracing design**  
td  
10200 E Grand Ave, Ste A-314  
Johnstown, CO 80120  
PH: 303.426.8827

**PLATTE**  
LAND & WATER, LLC

**CORE**  
CONSULTANTS

#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 22, 2020	

**WELTY RIDGE**  
JOHNSTOWN, CO  
OUTLINE DEVELOPMENT PLAN  
CIRCULATION PLAN

DESIGNED BY: JM  
DRAWN BY: KB  
CHECKED BY: JM

AMENDED SHEET  
5 OF 12

1/20/2020 10:27 AM P:\PLATTE LAND & WATER\GREAT PLAINS - WELTY\ODP\SUBMITTALS\WELTY ODP\WELTY-ODP-CIRCULATION-PLAN.DWG

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

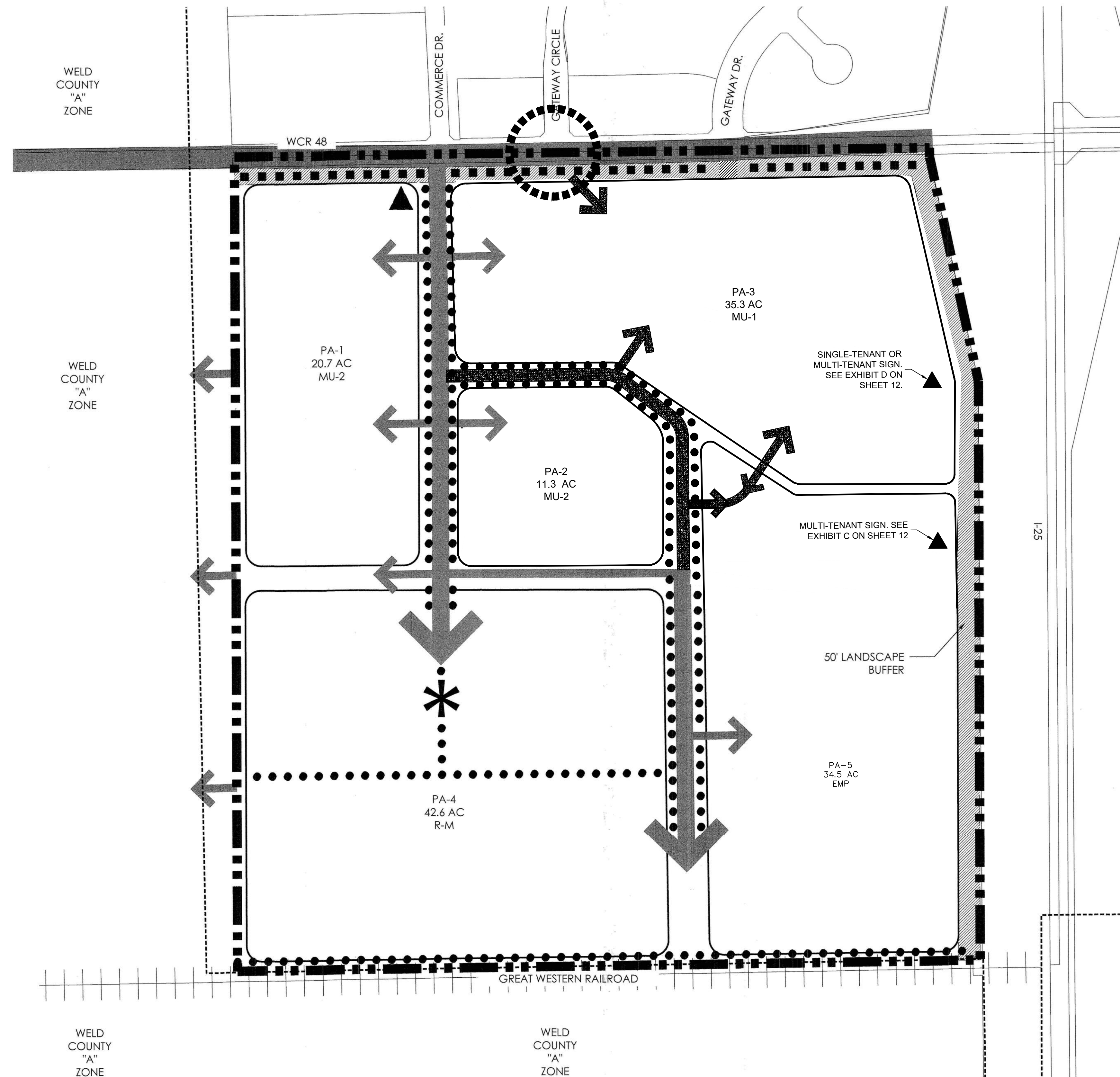
LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

### OPEN AREA

- A. FOR THE PURPOSES OF THIS PUD, "OPEN SPACE OR LANDSCAPE AREA" IS REFERRED TO AS "OPEN AREA."
- B. OPEN AREA PROVIDED PER THE REQUIREMENTS OF THIS PUD WILL MEET ALL LANDSCAPE AREA, OPEN SPACE AREA, OR SIMILAR AREAS REQUIRED PER THE JOHNSTOWN CODE REQUIREMENTS.
- C. SINGLE FAMILY DETACHED OR ATTACHED RESIDENTIAL DEVELOPMENT WILL REQUIRE A MINIMUM 15% OPEN AREA.
- D. MULTI-FAMILY RESIDENTIAL DEVELOPMENT WILL REQUIRE A MINIMUM OF 30% OPEN AREA.
- E. COMMERCIAL AND LIGHT INDUSTRIAL DEVELOPMENT WILL REQUIRE A MINIMUM 20% OPEN AREA.
- F. OPEN AREA REQUIREMENTS WILL BE CALCULATED ON A NET BASIS EXCLUDING PUBLIC RIGHT OF WAY.
- G. LANDSCAPE BUFFERS AND DETENTION PONDS CAN COUNT TOWARDS OPEN AREA REQUIREMENT. OPEN AREA MAY BE CUMULATIVELY GATHERED INTO LARGER PARCELS (FOR THE PURPOSES OF DEVELOPING A LARGER AND MORE FUNCTIONAL OPEN AREA) AT THE DISCRETION OF THE DEVELOPER AND WITH THE APPROVAL OF THE PLANNING AND DEVELOPER DIRECTOR. THE LOCATION(S) OF THE CUMULATIVELY GATHERED OPEN AREA SHALL BE DESIGNATED AT THE TIME OF EACH PRELIMINARY AND FINAL DEVELOPMENT PLAN THAT IS CONTRIBUTING TO THAT OPEN AREA.
- H. OPEN SPACE LOCATED WITHIN A SINGLE FAMILY DETACHED OR SINGLE FAMILY ATTACHED LOT CAN NOT BE COUNTED TOWARDS OPEN AREA REQUIREMENT.
- I. USABLE OPEN AREA CAN COUNT TOWARDS OPEN AREA REQUIREMENT.

### USABLE OPEN AREA

- A. WELTY RIDGE REQUIRES A 10% USABLE OPEN AREA FOR RESIDENTIAL AREAS. FOR PURPOSES OF THIS PUD, THE 10% USABLE OPEN AREA SHALL BE CALCULATED FROM THE TOTAL AREA OF ALL RESIDENTIAL LOTS AND ADJACENT LOCAL ROADWAYS THAT SERVE AS DIRECT ACCESS TO THE RESIDENTIAL LOTS.
- B. USABLE OPEN AREA PROVIDED PER THE REQUIREMENTS OF THIS PUD WILL MEET ALL DEDICATED OPEN SPACE REQUIREMENTS PER THE JOHNSTOWN CODE.
- C. USABLE OPEN AREA MAY BE CUMULATIVELY GATHERED INTO LARGER PARCELS (FOR THE PURPOSES OF DEVELOPING A LARGER AND MORE FUNCTIONAL PARK OR SIMILAR USES) AT THE DISCRETION OF THE DEVELOPER AND WITH THE APPROVAL OF THE PLANNING AND DEVELOPMENT DIRECTOR. THE LOCATION(S) OF THE CUMULATIVELY GATHERED USEABLE OPEN AREA SHALL BE DESIGNATED AT THE TIME OF EACH FINAL PLAT THAT IS CONTRIBUTING TO THAT AREA.
- D. A MINIMUM OF 1 ACRE OF PARK PER 250 RESIDENTIAL UNITS IS REQUIRED.
- E. USABLE OPEN AREA MAY OWNED BY THE TOWN, METRO DISTRICT, OR HOA. OWNERSHIP TO BE DETERMINED AT THE TIME OF PRELIMINARY AND FINAL DEVELOPMENT PLANS
- F. WHERE PRACTICAL USABLE OPEN AREA SHOULD BE CONTIGUOUS.
- G. DETENTION PONDS CAN COUNT TOWARDS USABLE OPEN AREA REQUIREMENTS AS LONG AS THEY MEET THE DEFINITION OF USABLE OPEN AREA PROVIDED IN THIS DOCUMENT. NOT MORE THAN 5% OF THE USABLE OPEN AREA REQUIREMENT CAN BE MET WITH DETENTION PONDS.

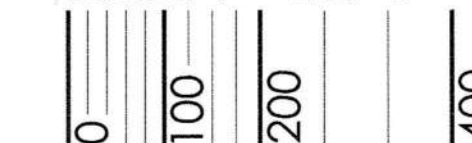


LEGEND	
.....	5' PEDESTRIAN WALK
.....	10' PEDESTRIAN WALK
*	PARK
▲	PRIMARY MONUMENTATION
▨	LANDSCAPE BUFFER

ALL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER DETAILED REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE PLANS ARE INCLUDED TO ILLUSTRATE THE OVERALL CONCEPTS ONLY.

## TRAILS & OPEN SPACE PLAN

Scale: 1"= 200'-0"



#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 21, 2020	

WELTY RIDGE  
 JOHNSTOWN, CO  
 OUTLINE DEVELOPMENT PLAN  
 TRAILS & OPEN SPACE PLAN

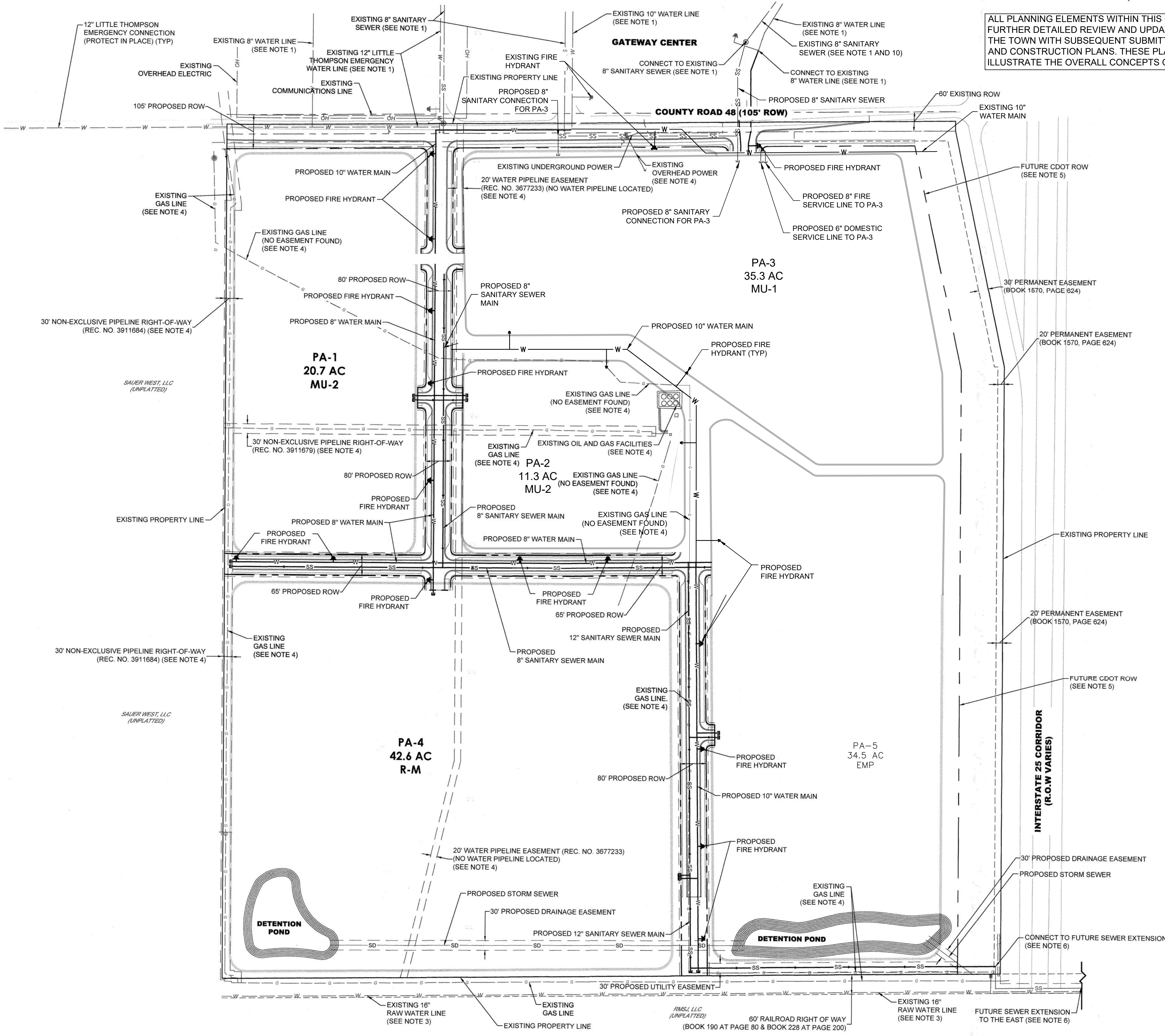
DESIGNED BY: JM  
 DRAWN BY: KB  
 CHECKED BY: JM

AMENDED SHEET  
 7 OF 12

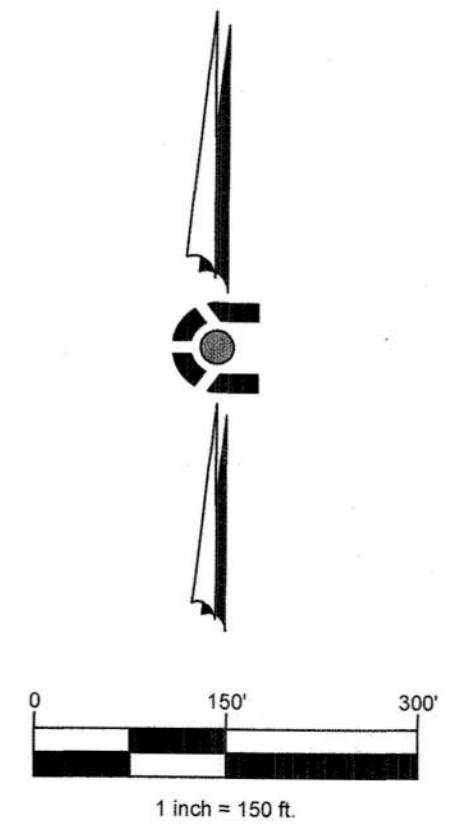
1/28/2020 10:22 AM P:\PLATTE LAND & WATER\GREAT PLAINS WELTY\ODP\SUBMITTALS\WELTY\ODP\TRAILS-AND-OPEN-SPACE.DWG

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO



ALL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER DETAILED REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE PLANS ARE INCLUDED TO ILLUSTRATE THE OVERALL CONCEPTS ONLY.



- NOTES**
1. THE SIZE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE AND BASED OFF THE BEST AVAILABLE INFORMATION WHEN SHOWN ON THESE DRAWINGS. EXACT LOCATION OF EXISTING UTILITIES AND TIE-IN POINTS SHALL BE DETERMINED/CONFIRMED DURING FINAL DESIGN. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNKNOWN UTILITIES.
  2. UTILITY MAINS AND SERVICES ARE SHOWN SCHEMATICALLY AND FINAL PLAT AND CONSTRUCTION DOCUMENT PROCESS THROUGH THE TOWN OF JOHNSTOWN.
  3. THE 16" RAW WATER LINE TO THE SOUTH OF THE WELTY RIDGE PROPERTY IS NON-POTABLE AND WILL NOT PROVIDE A LOOPED CONNECTION TO THE SITE.
  4. EXISTING EASEMENTS AND UTILITIES IN CONFLICT WITH PROPOSED DESIGN SHALL BE VACATED AND REMOVED PRIOR TO CONSTRUCTION. EXACT LIMITS WILL BE DETERMINED DURING FINAL DESIGN.
  5. APPROXIMATE ROW LIMITS BASED OFF PRELIMINARY DESIGNS PROVIDED BY CDOT. FINAL LOCATION WILL BE DETERMINED DURING THE FINAL DESIGN OF THE I-25 WIDENING PROJECT.
  6. AN OFFSET SEWER MAIN IS REQUIRED TO BE CONSTRUCTED TO THE EAST THAT CONNECTS INTO THE EXISTING JOHNSTOWN SANITARY SEWER SYSTEM. SEWER LINE BELOW I-25 SHALL BE BORED AND PERMITTED WITH CDOT. EXACT SIZE AND LOCATION SHALL BE DETERMINED DURING FINAL DESIGN.
  7. SEE SHEET 6 FOR ROADWAY CROSS SECTIONS.

**LEGEND**

	PROPERTY LINE
	PROPOSED ROW
	PROPOSED UTILITY EASEMENT
	PROPOSED LANDSCAPE BUFFER
	EXISTING ROW
	EXISTING SWALE
	EX. / PR. LIGHT POLE
	EX. / PR. SIGNS
	EX. POWER POLE
	CABLE TV
	ELECTRIC & METER
	FIBER OPTIC LINE & MH
	GAS LINE & METER
	IRRIGATION
	OVERHEAD POWER
	TELEPHONE LINE & MH
	PROPOSED SANITARY MAIN W/ FLOW ARROW
	PROPOSED SANITARY STUB
	PROPOSED WATER MAIN
	FIRE HYDRANT ASSEMBLY
	PROPOSED WATER STUB
	PROPOSED STORM SEWER
	PROPOSED CURB & GUTTER
	PLANNING AREA DELINEATION

ODP REVISION 02/23/2021

**Kimley»Horn**

terraccina  
 design  
 10000 E. Grand Ave. Ste. A-314  
 Denver, CO 80231  
 PH: 303.622.8607

**PLATTE**  
 LAND & WATER, LLC

**CORE**  
 CONSULTANTS

#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 21, 2020	

**WELTY RIDGE**  
 JOHNSTOWN, CO  
 OUTLINE DEVELOPMENT PLAN  
 CONCEPTUAL UTILITY PLAN

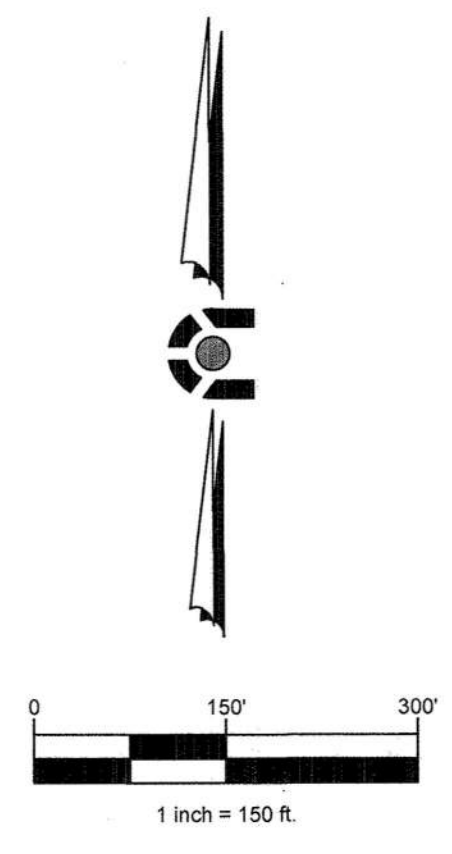
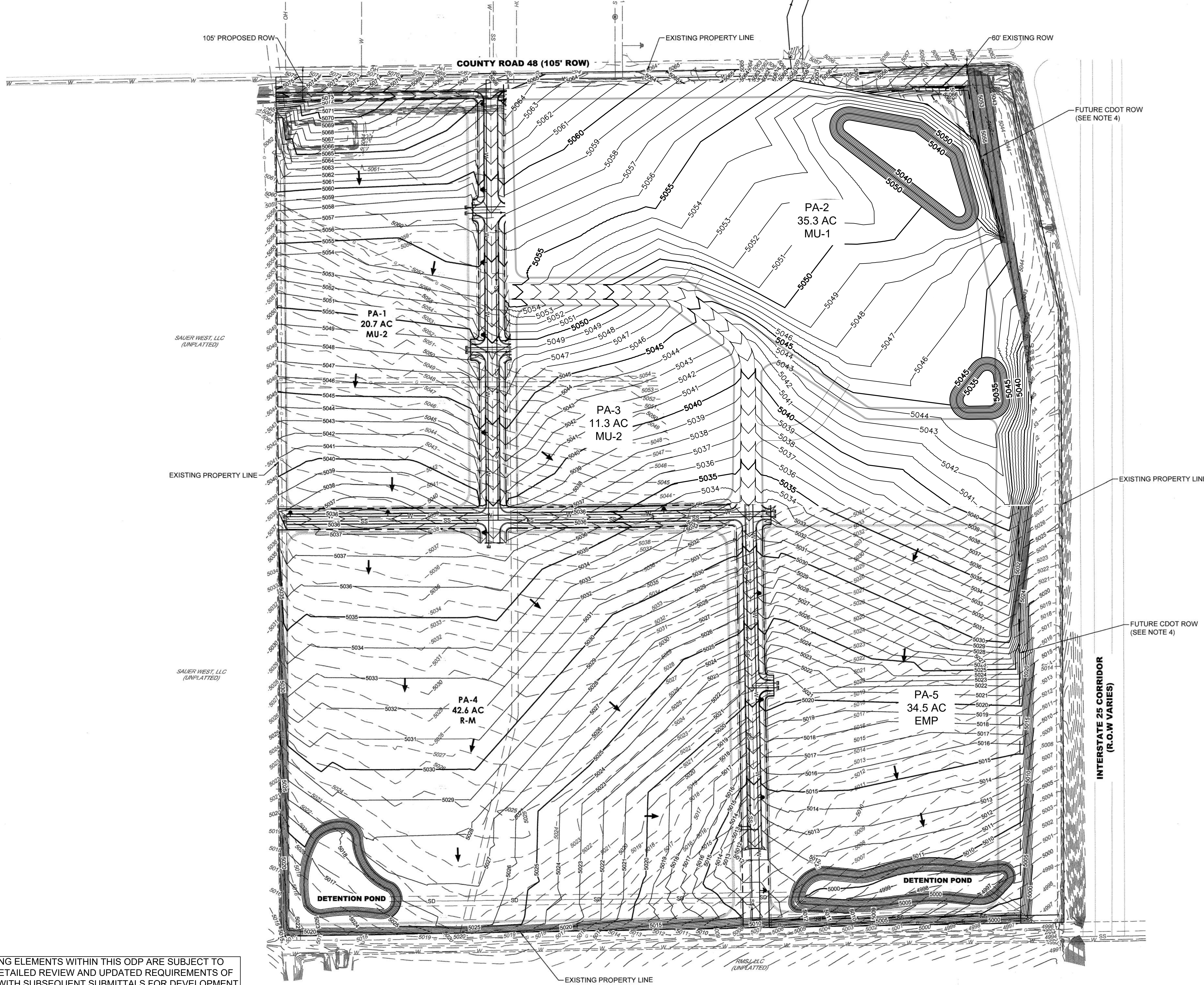
DESIGNED BY: AM  
 DRAWN BY: AM  
 CHECKED BY: KR

AMENDED  
 SHEET  
 8 OF 12

1/20/2020 1:58 PM - X:\18-156 GREAT PLAINS\CADD\CIVIL3 - WELTY RIDGE\WELTY RIDGE - ODP-UTILITY PLAN.DWG

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

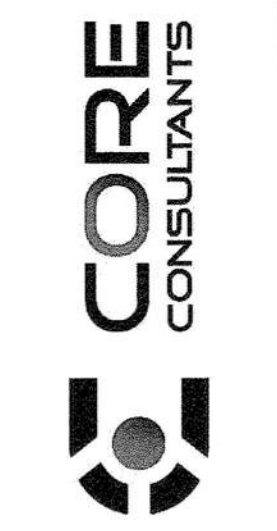


- NOTES**
1. DETENTION POND SIZING AND LOCATIONS ARE CONCEPTUAL AND WILL BE DETERMINED DURING THE PLAT AND CONSTRUCTION DOCUMENT PROCESS THROUGH THE TOWN OF JOHNSTOWN.
  2. THE TOPOGRAPHIC SURVEY AND BOUNDARY SHOWN ARE BASED ON THE FIELD SURVEY WORK OF PLS GROUP (PROJECT #18042.001). FIELD SURVEY WAS COMPLETED ON OR AROUND MAY 22, 2018.
  3. SEE SHEET 6 FOR ROADWAY CROSS SECTIONS.
  4. APPROXIMATE ROW LIMITS BASED OFF PRELIMINARY DESIGNS PROVIDED BY CDOT. FINAL LOCATION WILL BE DETERMINED DURING THE FINAL DESIGN OF THE I-25 WIDENING PROJECT.

**LEGEND**

	PROPERTY LINE
	PROPOSED CURB & GUTTER
	PROPOSED R.O.W.
	PROPOSED UTILITY EASEMENT
	PROPOSED LANDSCAPE BUFFER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PLANNING AREA DELINEATION
	FLOW ARROW

ALL PLANNING ELEMENTS WITHIN THIS ODP ARE SUBJECT TO FURTHER DETAILED REVIEW AND UPDATED REQUIREMENTS OF THE TOWN WITH SUBSEQUENT SUBMITTALS FOR DEVELOPMENT AND CONSTRUCTION PLANS. THESE PLANS ARE INCLUDED TO ILLUSTRATE THE OVERALL CONCEPTS ONLY.



#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 22, 2020	

**WELTY RIDGE**  
 JOHNSTOWN, CO  
 OUTLINE DEVELOPMENT PLAN  
 PRELIMINARY GRADING PLAN

DESIGNED BY: AM  
 DRAWN BY: AM  
 CHECKED BY: KR

AMENDED  
 SHEET  
 9 OF 12

1/26/2020 1:53 PM, X:\18-156 GREAT PLAINS\CADD\CIVIL2\_WELTY RIDGE\WELTY RIDGE - ODP GRADING PLAN.DWG

# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

ODP REVISION 02/23/2021  
Kimley-Horn

terracino  
design  
10200 E. Grand Ave., Ste. A-314  
Denver, CO 80231  
303.555.8800

PLATTE  
LAND & WATER, LLC

CORE  
CONSULTANTS

#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 22, 2020	

WELTY RIDGE  
JOHNSTOWN, CO  
OUTLINE DEVELOPMENT PLAN  
DESIGN GUIDELINES

DESIGNED BY: JM  
DRAWN BY: KB  
CHECKED BY: JM

AMENDED  
SHEET  
11 OF 12

## DESIGN GUIDELINES

### PART 1 - INTRODUCTION

#### 1.1 STATEMENT OF INTENT

WELTY RIDGE IS A +/- 145 ACRE MASTER-PLANNED COMMUNITY LOCATED WEST OF INTERSTATE 25 IN THE SOUTHWEST CORNER OF THE I-25 & WCR48/SH-60. THIS MIXED USE PROJECT INCLUDES PARCELS DESIGNATED FOR MULTIPLE TYPES OF RESIDENTIAL, RETAIL, COMMERCIAL, LIGHT INDUSTRIAL AND OFFICE USES. THE OVERALL CHARACTER OF WELTY RIDGE MUST BE EVIDENT AND MAINTAINED TO ENSURE THE QUALITY AND COHESIVENESS DESIRED IN THIS EMERGING PART OF NORTHERN COLORADO. THE GUIDELINES WILL SERVE AS A DESIGN CONCEPT FOR ULTIMATE DESIGN AND DEVELOPMENT. HIGH QUALITY DEVELOPMENT IS ENCOURAGED ALONG THE INTERSTATE 25 CORRIDOR IN GENERAL. WELTY RIDGE WILL BE VISIBLE FROM THE INTERSTATE, AND ITS DEVELOPMENT WILL FORM A FIRST IMPRESSION OF THE COMMUNITY.

THE DESIGN GUIDELINES SHALL BE UTILIZED BY RESIDENTS, DEVELOPERS, ARCHITECTS, ENGINEERS AND PLANNERS FOR DESIGN AND CONSTRUCTION DIRECTION WITHIN THIS PUD. ALL DEVELOPMENTS WITHIN WELTY RIDGE ARE SUBJECT TO THE DESIGN GUIDELINES CONTAINED HEREIN. IN CASES WHERE THIS DOCUMENT IS SILENT, THE TOWN OF JOHNSTOWN STANDARDS AND REGULATIONS SHALL APPLY.

### PART 2 - GENERAL DESIGN GUIDELINES

#### 2.1 APPLICABILITY

THIS SECTION APPLIES TO ALL DEVELOPMENT WITHIN WELTY RIDGE AND PROVIDES GENERAL STANDARDS UPON WHICH THE SUBSEQUENT SECTIONS WILL BUILD TO PROVIDE GREATER CLARITY FOR SPECIFIC LAND USES. ALL GOVERNING LOCAL CODES, REGULATIONS, AND STATUTES ENFORCED BY THE TOWN OF JOHNSTOWN WILL APPLY.

#### 2.2 LANDSCAPING

##### 2.2.1 LANDSCAPE DESIGN PRINCIPLES

ALL DEVELOPMENT SHALL DEMONSTRATE ADHERENCE TO THE FOLLOWING LANDSCAPE DESIGN PRINCIPLES:

- DESIGN TO PROVIDE AN ATTRACTIVE, COMFORTABLE ENVIRONMENT FOR USERS WHILE MINIMIZING MAINTENANCE NEEDS, IRRIGATION WATER REQUIREMENTS AND THE USE OF HERBICIDES AND PESTICIDES.
- DESIGN LANDSCAPES TO CREATE A NATURALIZED APPEARANCE. USE PLANT MATERIALS THAT ARE INDIGENOUS TO NORTHERN COLORADO WHERE POSSIBLE. ONLY USE INTRODUCED SPECIES IN ORDER TO ACHIEVE DESIGN OBJECTIVES THAT CANNOT BE ACHIEVED WITH THE USE OF NATIVE SPECIES.
- COORDINATE THE DESIGN OF THE LANDSCAPE WITH SITE EROSION PROTECTION, STORM DRAINAGE AND WATER QUALITY IMPROVEMENT SYSTEMS.
- DESIGN AND MANAGE IRRIGATION SYSTEMS TO ACHIEVE PEAK EFFICIENCY.

##### 2.2.2 STREETScape DESIGN

WELTY RIDGE ENTRIES WILL CONTAIN BOTH SIGNAGE AND LANDSCAPING THAT TIE INTO THE OVERALL STREETScape DESIGN. THE LAND USE PLAN (SHEET 2) ILLUSTRATES THE MAJOR AND MINOR ENTRIES INTO THE SITE. IN ORDER TO CREATE AN APPROPRIATE LANDSCAPE CORRIDOR ALONG CR48, LARGE MASSES OF TREES AND SHRUBS ARE REQUIRED. THE RIGHT-OF-WAY (ROW) WILL BE PRIMARILY DROUGHT-TOLERANT TURF OR IRRIGATED NATIVE SEED. THIS TREATMENT WILL TRANSITION TO DRIFTS OF SHRUB/PERENNIAL BEDS AND TREE GROUPINGS THAT MEANDER FROM JUST INSIDE THE ROW TO THE EDGE OF LANDSCAPE BUFFERS AND BACK. THE GOAL IS TO AVOID A STRAIGHT-LINE TREATMENT AT THE EDGE OF THE ROW. WALKS WILL BE DETACHED AND MEANDER WITHIN THE ROW AND OUTSIDE OF THE ROW INTO THE LANDSCAPE BUFFER IF DESIRED. MEDIANS WILL BE PLANTED IN A SIMILAR FASHION OR WILL BE CONSTRUCTED OF COLORED & STAMPED CONCRETE (SHEET 12, EXHIBIT A).

### COLLECTOR & ARTERIAL STREETS:

PLANTING OF ARTERIAL AND COLLECTOR STREETS WILL BE TREATED IN A SIMILAR FASHION IN ORDER TO CREATE A UNIFIED AND SIGNIFICANT STREETScape IMAGE. THE STREETScape DESIGN SHALL EMPHASIZE XERISCAPE PRINCIPLES AND A UNIQUE LOOK THAT SETS WELTY RIDGE APART. TREES AND PERENNIALS SHALL BE PLANTED WITHIN THE PUBLIC ROW, WHILE SHRUBS MAY BE PLANTED OUTSIDE THE PUBLIC ROW. MEDIANS WILL BE PLANTED IN A SIMILAR FASHION OR WILL BE CONSTRUCTED OF COLORED & STAMPED CONCRETE.

### ARTERIAL LANDSCAPE BUFFER:

A 30' AVERAGE LANDSCAPE BUFFER WILL BE PROVIDED ALONG WCR48 WITH A MINIMUM WIDTH OF 20'.

### SIGHT DISTANCE LINES:

NO PLANTING OVER 30" IN HEIGHT SHALL OCCUR WITHIN A SIGHT DISTANCE LINES. REFER TO AASHTO REQUIREMENTS REGARDING SIGHT DISTANCE TRIANGLES.

### 2.3 PARKS, OPEN AREA, REGIONAL DETENTION AND NATURAL AREAS

THE DESIGN OF PARKS, OPEN AREA, DETENTION AND NATURAL AREAS SHALL MEET THE CRITERIA AS ESTABLISHED IN THE JOHNSTOWN/MILLIKEN PARKS, TRAILS, RECREATION AND OPEN SPACE PLAN. FINAL DEVELOPMENT PLANS MAY BE SUBMITTED IN STAGES BY PHASE. AS SUCH, THE OPEN AREA DESIGN, APPROVAL AND LANDSCAPE INSTALLATION WILL OCCUR AS THE LOTS DEVELOP.

#### 2.4 SITE SIGNAGE

##### 2.4.1 PURPOSE

THE OBJECTIVE OF THE WELTY RIDGE SIGNAGE PROGRAM IS TO HELP CREATE A UNIFIED IMAGE FOR THE COMMUNITY. THE WELTY RIDGE SIGNAGE PROGRAM SHALL ADHERE TO THE FOLLOWING:

- ALL FREESTANDING SIGNAGE (EXCEPT FOR THE SIGN ON PA-3, EXHIBIT D ON SHEET 12) WITHIN THE DEVELOPMENT WILL BEAR THE STYLE AND LOGO OF WELTY RIDGE, HOWEVER INDIVIDUAL LOGOS AND GRAPHICS ARE ALLOWED ON THE SIGN FACE. FREESTANDING SIGNS LOCATED THROUGHOUT THE DEVELOPMENT ARE UNIFIED THROUGH THE USE OF SIMILAR GEOMETRY AND A REPETITION OF A COMMON MATERIALS PALETTE.
- BUILDING MOUNTED SIGNS ARE REGULATED BY LIMITING SIZE. HOWEVER, TENANT LOGOS AND GRAPHICS ARE ALLOWED.
- NO BLINKING LIGHT SIGNAGE WILL BE ALLOWED
- ONE MULTI-TENANT FREESTANDING SIGN SHALL BE ALLOWED ON I-25 WITH A MAXIMUM HEIGHT OF 45' (SHEET 12, EXHIBIT C)
- ONE SINGLE-TENANT OR MULTI-TENANT SIGN SHALL BE ALLOWED IN PA-3 (SEE SHEET 12, EXHIBIT D).

#### 2.5 FENCING & WALLS

CHAIN LINK IS ONLY ACCEPTABLE IN THE "EMP" AREA BY INDUSTRIAL USES AND MUST BE VINYL COATED. CHAIN LINK IS NOT PERMITTED WITH ANY OTHER USE. OTHER FENCING MATERIALS SUCH AS SIMULATED WROUGHT IRON AND / OR CONCRETE OR MASONRY MAY BE REQUIRED DEPENDING UPON SCREENING NEEDS AND COMPATIBILITY WITH ADJACENT USES. NO WOOD RETAINING WALLS ARE ALLOWED (NONRESIDENTIAL ONLY). FENCING AND WALLS SHALL MATCH PRIMARY BUILDING ARCHITECTURE.

#### 2.6 DRIVE-THROUGH FACILITIES

DRIVE-THROUGH FACILITIES ARE A CONVENIENT SERVICE; HOWEVER, THEY CAN CREATE BARRIERS TO PEDESTRIAN MOVEMENT AND PRESENT AN UNATTRACTIVE APPEARANCE UNLESS THEY ARE THOUGHTFULLY DESIGNED AND LOCATED.

DRIVE THROUGH WINDOWS, MENU BOARDS AND STACKING AREAS SHALL BE SUBJECT TO THE SAME SETBACK AND SCREENING REQUIREMENTS AS PARKING LOTS.

### PART 3 - RESIDENTIAL DISTRICTS

THESE STANDARDS REPRESENT MINIMUM ARCHITECTURE AND DEVELOPMENT STANDARDS FOR THE RESIDENTIAL DISTRICTS IN AN EFFORT TO CREATE A COHESIVE OVERALL WELTY RIDGE DEVELOPMENT ACROSS MULTIPLE BUILDERS AND PRODUCTS. ADDITIONAL ARCHITECTURAL STANDARDS MAY BE INCLUDED AS MORE DETAILED PRELIMINARY AND FINAL DEVELOPMENT PLANS ARE CREATED FOR EACH PLANNING AREA, PHASE, AND/OR RESIDENTIAL PRODUCT.

#### 3.1 SINGLE FAMILY ATTACHED AND DETACHED ARCHITECTURAL STANDARDS

##### 3.1.1 APPLICABILITY

ALL SINGLE-FAMILY DETACHED AND ATTACHED DWELLINGS SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THESE DEVELOPMENT STANDARDS, AS WELL AS APPLICABLE REQUIREMENTS OF THE ADOPTED BUILDING CODE REQUIREMENTS.

##### 3.1.2 EXTERIOR CHANGES

EXTERIOR MATERIAL CHANGES SHOULD OCCUR AT CHANGES IN THE PLANE OF THE BUILDING, NOT EXCLUSIVELY AT THE OUTSIDE CORNERS.

##### 3.1.3 GARAGES

ALL SINGLE FAMILY DETACHED HOMES SHALL INCLUDE A MINIMUM 2-CAR GARAGE, EITHER ATTACHED OR DETACHED, AS PART OF THE NEW CONSTRUCTION OR PLACEMENT.

##### 3.1.4 PRODUCT VARIATION

**APPLICABILITY:**  
THE FOLLOWING HOUSING MODEL VARIETY STANDARDS SHALL APPLY TO ALL NEW RESIDENTIAL SUBDIVISIONS AND DEVELOPMENTS. THESE STANDARDS ARE INTENDED TO PREVENT MONOTONOUS STREETScapeS AND OFFER CONSUMERS A WIDE CHOICE OF HOUSING STYLES.

EACH HOUSING MODEL SHALL PROVIDE AND EXHIBIT AT LEAST THREE FEATURES THAT CLEARLY AND OBVIOUSLY DISTINGUISH THEM FROM OTHER HOUSING MODELS. THESE FEATURES CAN INCLUDE ANY OF THE FOLLOWING:

- BUILDING MASS - BUILDING MASS IS CONSIDERED TO BE THE OUTLINE OF THE STRUCTURE. THIS IS DETERMINED BY THE HEIGHT, WIDTH, AND DEPTH OF THE STRUCTURE.
- BUILDING FORM - BUILDING FORM IS CONSIDERED TO BE THE STYLE OF THE HOME, INCLUDING RANCH, TRI-LEVEL OR TWO-STORY STRUCTURES.
- ROOF TYPE - ROOF TYPES CONSIST OF MANSARD, HIP, GAMBREL, GABLE, AND FRONT-TO-BACK (SHED STYLE). DIFFERENTIATION MAY ALSO BE ACHIEVED THROUGH THE USE OF ROOF DORMERS, GABLES, AND HIPS. FLAT OR A-FRAMES ROOFS SHOULD BE AVOIDED UNLESS APPROPRIATE TO THE ARCHITECTURAL STYLE.
- WINDOWS AND DOORS - THE VERTICAL OR HORIZONTAL VARIATION IN THE PLACEMENT OF AT LEAST TWO WINDOWS AND/OR DOORS ON THE FRONT FAÇADE ELEVATION OR WINDOW SHAPES THAT ARE SUBSTANTIALLY DIFFERENT. THIS STANDARD ALSO APPLIES TO ANY ELEVATION FACING A STREET, OPEN SPACE OR PUBLIC / PRIVATE PARK.
- THE USE OF AT LEAST TWO DIFFERENT MATERIALS ON THE FRONT FAÇADE ELEVATION.
- GARAGES. VARIATION IN THE LOCATION AND/OR PROPORTION OF GARAGES AND GARAGE DOORS, SUCH AS ALLEY-LOADED GARAGES, SIDE-LOADED GARAGES, ETC. (2-CAR GARAGE VS. 3-CAR GARAGE OF THE SAME ELEVATION DO NOT MEET THE INTENT).
- VARIATIONS IN THE LOCATION, WIDTH, AND PROPORTION OF FRONT PORCHES (MIN. SIZE 6'x6").
- MINOR COSMETIC CHANGES SUCH AS DIFFERENT PAINT COLOR, REVERSING OR CREATING MIRRORED IMAGES OF THE EXTERIOR ARCHITECTURAL ELEVATIONS, SHUTTERS, DECORATIVE BRACKETS, OR USING DIFFERENT BRICK OR STONE COLOR SHALL NOT MEET THE INTENT OF THIS SECTION.

THE SAME HOUSING MODEL WITH THE IDENTICAL STREET ELEVATION DESIGN (OR NEARLY IDENTICAL) SHALL NOT BE PLACED LESS THAN THREE AWAY OR DIRECTLY ACROSS THE STREET FROM ONE ANOTHER. "ACROSS THE STREET" IS DEFINED AS LOTS THAT OVERLAP EACH OTHER WHEN THE SIDE LOT LINES ARE EXTENDED ACROSS THE STREET TO THE OPPOSITE LOT. THE SAME HOUSING MODEL USED AT THE END OF ONE BLOCK SHALL NOT BE REPEATED ON THE FIRST LOT OF THE NEIGHBORING BLOCK.

IDENTICAL OR NEARLY IDENTICAL STREET ELEVATION DESIGN MEANS LITTLE OR NO VARIATION IN THE ARTICULATION OF THE FAÇADE, HEIGHT OR WIDTH OF THE FAÇADE, PLACEMENT OF THE PRIMARY ENTRANCES, PORCHES, NUMBER AND PLACEMENT OF WINDOWS, AND OTHER MAJOR ARCHITECTURAL FEATURES.

#### 3.2 CLUSTERED SINGLE FAMILY RESIDENTIAL ARCHITECTURAL STANDARDS

##### 3.2.1 GENERAL

CLUSTER HOMES ADJACENT TO A PUBLIC STREET AND LOCATED ON A MOTOR COURT OR GREEN COURT SHALL HAVE A SIDE FACING GARAGE. THE GARAGE SHALL FACE THE MOTOR COURT OR SHARED DRIVE NOT THE PUBLIC STREET (SHEET 12, EXHIBIT B).

##### 3.2.2 ACCESS

IF FOUR OR FEWER UNITS ACCESS FROM A SHARED DRIVE, THE MINIMUM DRIVE WIDTH IS 16 FEET (SEE CLUSTER HOME EXAMPLE B - MOTOR COURT ON SHEET 10). IF 5 OR MORE UNITS ACCESS OFF A COMMON DRIVE THE MINIMUM DRIVE WIDTH IS 23 FEET (SEE CLUSTER HOME EXAMPLE A - GREEN COURT ON SHEET 10).

GARAGES FACING ONTO SHARED DRIVES MUST HAVE A MINIMUM FACE TO FACE SEPARATION OF 30 FEET.

##### 3.1.3 FAÇADES

EXTERIOR FAÇADES SHALL COMPLY WITH THE CURRENT STANDARDS AND DESIGN GUIDELINES EXCEPT AS FOLLOWS:

IN ORDER TO BE CONSIDERED A DISTINCT ELEVATION, EACH ELEVATION SHALL INCORPORATE AT LEAST THREE OF THE FOLLOWING:

- PLACEMENT OF WINDOWS ON THE FRONT FAÇADE ELEVATION INCLUDE AT LEAST A TWO-FOOT VERTICAL OR HORIZONTAL VARIATION IN SIZE OR LOCATION.
- THE USE OF DIFFERENT MATERIALS OR VARIATIONS OF THE SAME MATERIAL ON THE FRONT FAÇADE ELEVATION.
- VARIATIONS IN FRONT PLANE.
- VARIATION IN ROOF TYPE, GABLE AND HIP.

NO MORE THAN TWO (2) OF THE SAME MODEL ELEVATIONS ARE PERMITTED WITHIN A MOTOR OR GREEN COURT. IF TWO MODEL ELEVATIONS ARE LOCATED WITHIN THE SAME MOTOR COURT THEY MUST USE DIFFERENT COLORS OR MATERIALS.

NO HOME MODEL ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET. THIS APPLIES TO STREET SIDE HOMES ONLY. THIS DOES NOT APPLY TO UNITS LOCATED INTERIOR TO THE MOTOR COURT OR GREEN COURT.

ALL "STREET SIDE CLUSTER HOMES" SHALL MEET THE FOLLOWING:

- THE FRONT FAÇADE OF THE HOME INCORPORATES A COVERED PORCH.

#### 3.3 MULTI-FAMILY RESIDENTIAL ARCHITECTURAL STANDARDS

##### 3.3.1 BUILDING DESIGN

THE ARCHITECTURAL DESIGN APPROACH SHALL EMPHASIZE COMPATIBILITY WITH EXISTING DEVELOPMENT AND SITE DESIGN.

THE DESIGN OF NEW STRUCTURES IN OR ADJACENT TO EXISTING DEVELOPED AREAS SHALL BE COMPATIBLE WITH, OR AN UPGRADE TO, THE ESTABLISHED ARCHITECTURAL CHARACTER OF SUCH AREAS. COMPATIBILITY MAY BE ACHIEVED THROUGH TECHNIQUES SUCH AS:

- REPETITION OF ROOF LINES.
- USE OF SIMILAR PROPORTIONS IN BUILDING MASS AND OUTDOOR SPACES.
- SIMILAR RELATIONSHIPS TO THE STREET.
- SIMILAR WINDOWS AND DOOR PATTERNS.
- BUILDING MATERIALS WITH SIMILAR COLORS AND TEXTURES.

TREAT ALL SIDES WITH SIMILAR MATERIALS. MULTI-FAMILY BUILDING FAÇADES SHALL BE ARTICULATED WITH PORCHES, BALCONIES, BAYS OR OTHER OFFSETS.

ACCESSORY BUILDINGS SHOULD BE SIMILAR IN CHARACTER AND MATERIALS AS PRIMARY BUILDINGS.

##### 3.3.2 FAÇADES

FAÇADES THAT FACE A STREET OR PARKING AREA SHALL NOT HAVE A BLANK, UNINTERRUPTED LENGTH EXCEEDING 50 FEET WITHOUT INCLUDING AT LEAST TWO (2) OF THE FOLLOWING:

- CHANGE IN PLANE.
- CHANGE IN COLOR, TEXTURE OR PATTERN, MATERIAL.
- WINDOWS.
- COLUMNS, PIERS OR EQUIVALENT ELEMENT THAT SUBDIVIDES THE WALL.

FAÇADES GREATER THAN 150 FEET IN LENGTH SHALL INCORPORATE WALL PLANE PROJECTIONS OR RECESSES HAVING A DEPTH OF AT LEAST 2% OF THE LENGTH OF THE FAÇADE AND OCCUPY AT LEAST 20% OF THE LENGTH OF THE FAÇADE.

##### 3.3.3 BUILDING ENTRANCES

PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND PROVIDE SHELTER, AND INCLUDE A MINIMUM OF TWO (2) OF THE FOLLOWING:

- CANOPY, ARCADE OR PORTICO.
- OVERHANG OR RECESS.
- RAISED CORNICED PARAPET.
- PEAKED ROOF OR ARCH.
- ARCHITECTURAL DETAIL SUCH AS COLUMNS, TILE WORK, STONE OR MOLDINGS INTEGRATED INTO THE BUILDING STRUCTURE.
- INTEGRAL PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPED AREAS AND/OR PLACES FOR SITTING.
- SPECIAL LANDSCAPE OR SITE FEATURE(S).

##### 3.3.4 ROOF AND TOP TREATMENTS

ROOFTOP MECHANICAL EQUIPMENT MUST BE NON-OBTRUSIVE, SCREENED FROM VIEW OR DESIGNED TO BE INTEGRAL COMPONENTS OF THE BUILDING.

THE AVERAGE PARAPET HEIGHT MAY NOT EXCEED 15% OF THE SUPPORTING WALL HEIGHT.

LARGE SLOPED ROOFS MUST HAVE VARIATIONS IN HEIGHT OR OFFSETS TO BREAK UP THE LARGE PLANE WITH A MAXIMUM 100 LINEAR FEET OF ONE PLANE.

ACCESSORY BUILDINGS SHALL BE OF THE SAME CHARACTER AND MATERIALS AS PRIMARY BUILDINGS.



# OUTLINE DEVELOPMENT PLAN AMENDMENT 1 WELTY RIDGE

LOCATED IN SECTION 10, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

#	REVISION DESCRIPTION	DATE	BY
1	APPROVED ODP	JANUARY 21, 2020	

DESIGNED BY:	JM
DRAWN BY:	KB
CHECKED BY:	JM

## PART 4 - COMMERCIAL, OFFICE AND LIGHT INDUSTRIAL ARCHITECTURAL STANDARDS

### 4.1 GENERAL

THESE DESIGN STANDARDS APPLY TO THE CREATION OF AND IMPROVEMENTS TO HIGH VISIBILITY, NEIGHBORHOOD, COMMUNITY AND REGIONAL-SCALE COMMERCIAL AREAS. REQUIREMENTS APPLICABLE TO THE OVERALL NATURE OF THE PUD CAN BE FOUND IN THE GENERAL DESIGN GUIDELINES (PART 2) AND SHOULD BE VIEWED AS COMPLEMENTARY.

#### 4.1.1 CONTEXT/SCALE

IN ORDER TO ACHIEVE COHESIVE DESIGNS WITHIN EACH AREA OF DEVELOPMENT, ATTENTION MUST BE PAID TO BUILDINGS AND FEATURES SURROUNDING THE PROPOSED IMPROVEMENT.

THE DESIGN OF BUILDINGS WHICH FACE PUBLIC STREETS, ADJACENT DEVELOPMENTS, OR CONNECTED PEDESTRIAN SPACES, SHALL EMPLOY, ALONG A MINIMUM OF FORTY (40) PERCENT OF THE FACADE, AT LEAST TWO OF THE FOLLOWING IN AN EFFORT TO FORM COHESIVE DEVELOPMENT, DEFINE THE SPACES, AND TO BRING A PEDESTRIAN SCALE TO THE FACADES. THIS REQUIREMENT IS FOR ALL ELEVATIONS (360° DESIGN)

1. SIMILAR WINDOWS AND PATTERNS
2. REPETITION OF ROOF LINES
3. SIMILAR BUILDING MATERIALS AND TEXTURES
4. SHADING DEVICES (INCLUDING ARCADES, AWNINGS AND ARBORS)
5. SIMILAR PROPORTIONS OF ELEMENTS

#### 4.1.2 ARTICULATION

WALL DESIGN FOR ALL FACADES SHALL VARY AT LEAST EVERY FIFTY (50) HORIZONTAL FEET BY USE OF AT LEAST TWO (2) OF THE FOLLOWING:

1. CHANGES IN COLOR, TEXTURE, OR MATERIALS
2. CHANGES IN WALL PLANE PROJECTIONS, REVEALS, ENTRANCES, AND RECESSES WITH A MINIMUM CHANGE OF ONE FOOT.
3. CHANGE IN GLAZING / CURTAIN WALL
4. VARIETY IN ROOFS: SUCH AS PITCH, HEIGHT, AND STYLE.
5. ENHANCED ARTICULATION ALONG PEDESTRIAN PATHS

#### 4.1.3 BUILDING ENTRANCES

PUBLIC BUILDING ENTRANCES SHOULD BE CLEARLY DEFINED AND FEATURE AT LEAST TWO (2) OF THE FOLLOWING ELEMENTS:

1. CANOPIES OR PORTICOS
2. OVERHANGS OR RECESSES OR PROJECTIONS
3. ARCADES
4. ARCHES
5. DISPLAY WINDOWS ALONG SIDEWALKS
6. INTEGRAL PLANTERS OR WING WALLS WITH INCORPORATED LANDSCAPE AREAS AND/OR PLACES FOR SITTING
7. DISTINCTIVE ROOF FORMS
8. AWNINGS
9. COLUMNS, TILE WORK, MOLDINGS, AND STONE INTEGRATED INTO THE DESIGN OF THE BUILDING

#### 4.1.4 MECHANICAL EQUIPMENT, LOADING AREA, AND OUTDOOR STORAGE

ALL LOADING DOCKS, ACCESSORY OUTDOOR STORAGE AND SERVICE YARDS SHALL BE LOCATED TO THE SIDE AND REAR YARDS OF BUILDINGS.  
 ALL OUTDOOR STORAGE YARDS, LOADING DOCKS, SERVICE AREAS AND MECHANICAL EQUIPMENT SHALL BE CONCEALED FROM VIEW FROM RESIDENTIAL USES AND PUBLIC ROW BY A COMBINATION OF SCREENS AND SCREENING MATERIAL (PLANTS) AT LEAST AS HIGH AS THE EQUIPMENT OR AREAS THEY HIDE. THEY SHALL BE DESIGNED WITH COLORS AND MATERIALS SIMILAR TO THOSE USED ON THE BUILDING ARCHITECTURE. PLANTS USED IN COMBINATION WITH SCREENS/FENCING SHALL BE EVERGREEN.  
 THE OUTDOOR STORAGE REQUIREMENT DOES NOT PROHIBIT THE USE OF THE EXTERIOR SALES SUCH AS GRILLS, FIRE-PITS, ETC. EXTERIOR SALE ITEMS SHALL NOT BE REQUIRED TO BE CONCEALED FROM VIEW.

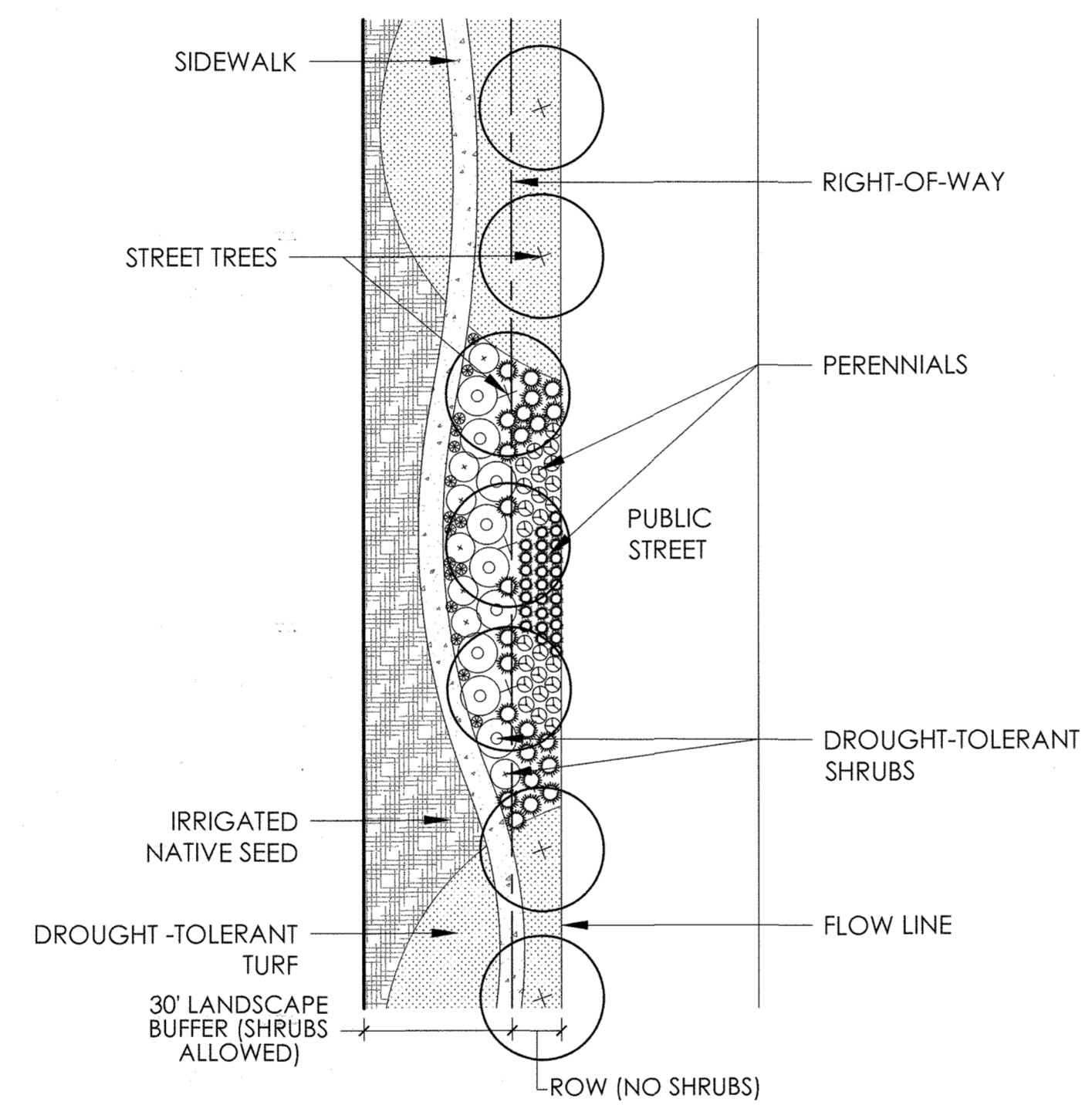
### 4.1.5 FENCES

ALL FENCING SHALL CONSIST OF WOODEN, STAKE, PARCEL PICKET, SPLIT RAIL, VINYL, WROUGHT IRON, AND/OR MASONRY. CHAIN LINK WILL ONLY BE ACCEPTED IN "EMP" AREAS FOR INDUSTRIAL USES.

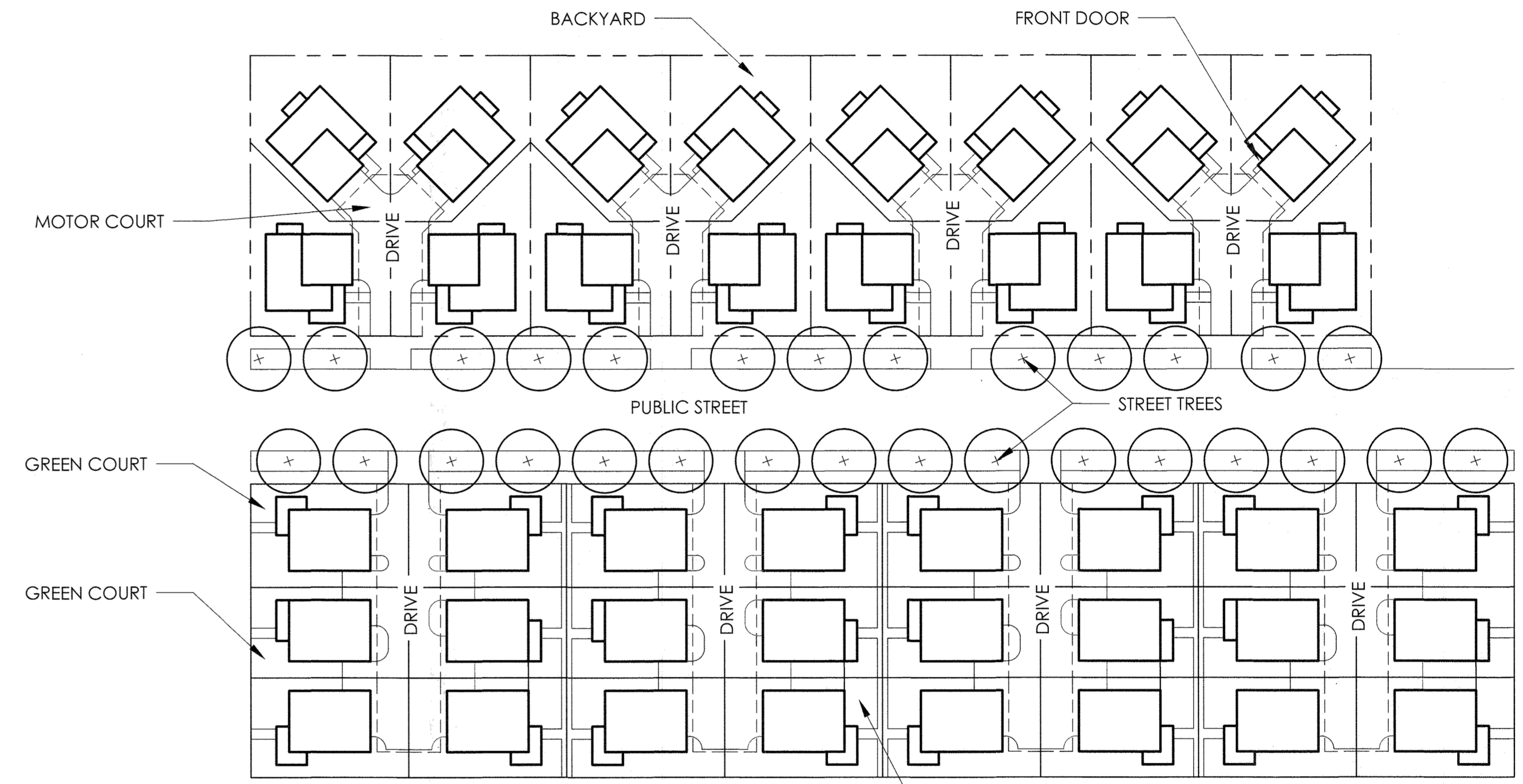
EXCESSIVE FENCING SHALL BE AVOIDED THROUGH THE USE OF STAGGERING, LANDSCAPE, BUFFER, AND ANCHOR MATERIALS.

### 4.1.6 RETAINING WALLS

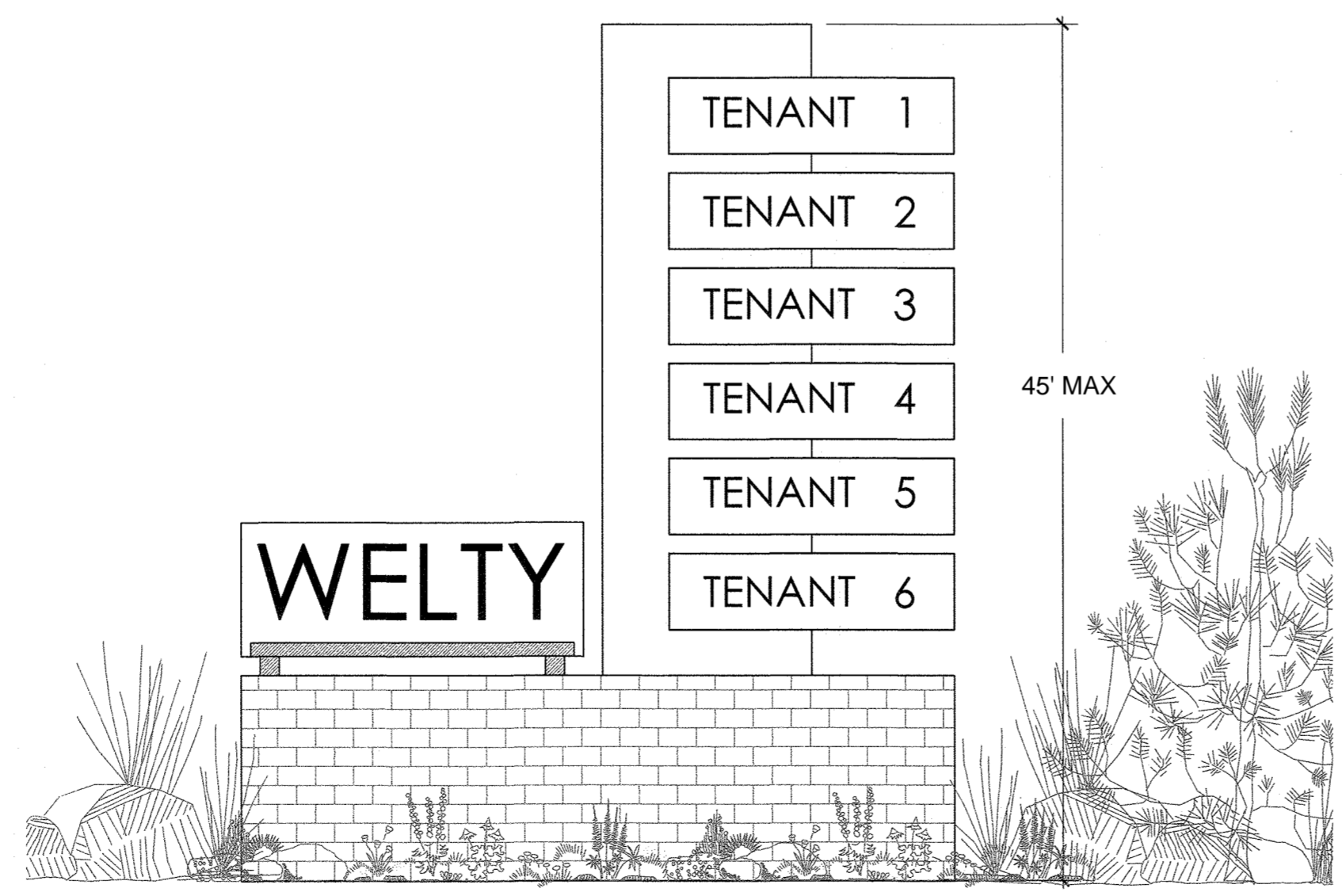
ANY PORTION OF CONCRETE OR MASONRY RETAINING WALLS VISIBLE FROM PUBLIC STREETS WILL BE COVERED WITH DECORATIVE MATERIALS SUCH AS STONE, BRICK OR STUCCO.



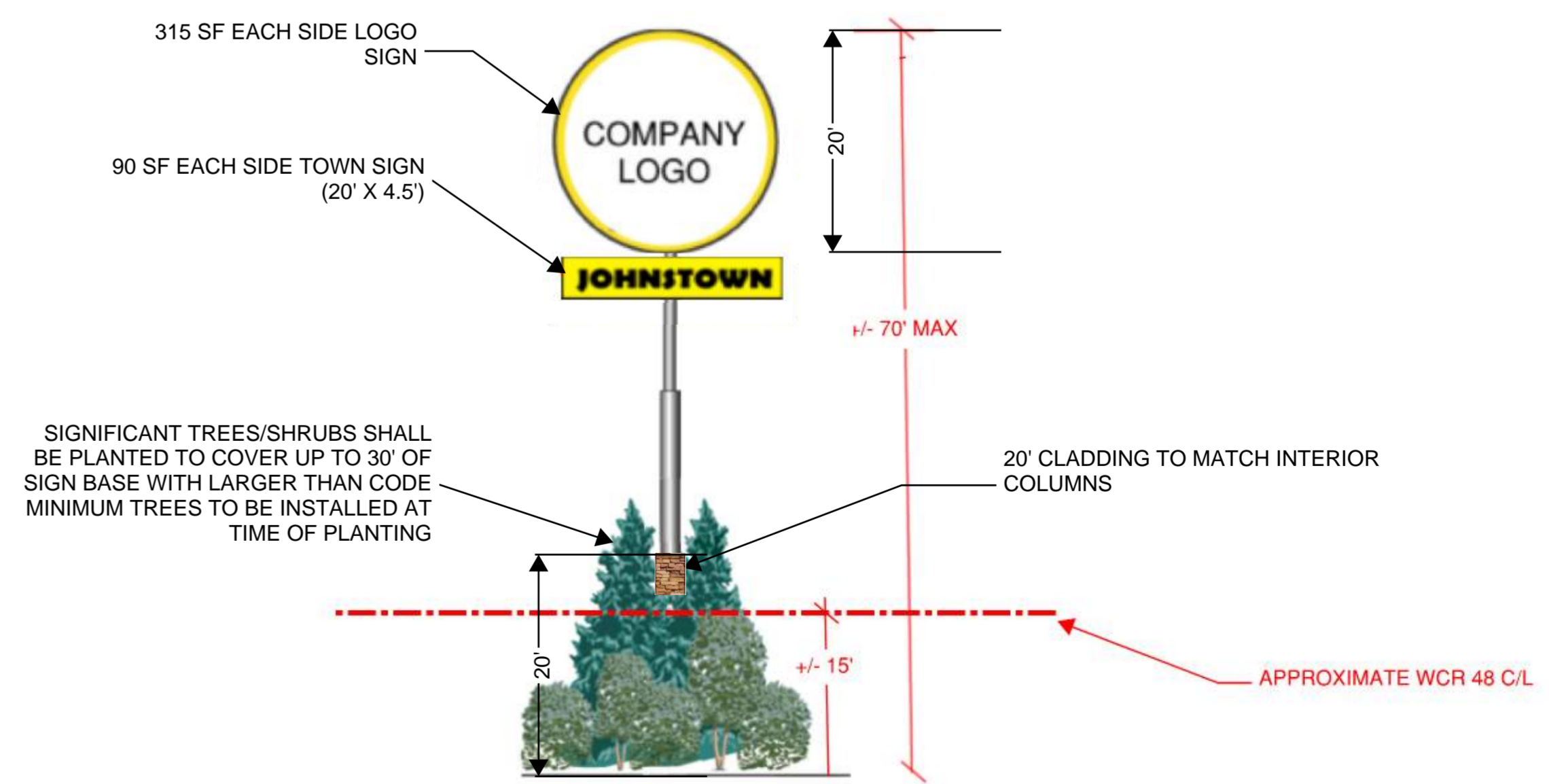
STREETSCAPE TYPICAL (EXHIBIT A)



CLUSTER HOME CONCEPTUAL PLAN (EXHIBIT B)



MULTI-TENANT HIGHWAY SIGN EXAMPLE (EXHIBIT C)



SINGLE-TENANT FREESTANDING SIGN EXAMPLE (EXHIBIT D)  
 Note: The proposed signage package for PA-3 shall be submitted as a master sign plan under separate cover

1/20/2020 10:22 AM - P:\PLATTE LAND & WATER\GREAT PLAINS - WELTY\CD\SUBMITTALS\WELTY ODP\DESIGN GUIDELINES.DWG



450 S. Parish Avenue  
Johnstown, CO 80534  
970.587.4664  
JohnstownCO.gov

Item 5.

## PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

- 
- HEARING DATE:** February 14, 2024 at 7:00PM
- SUBJECT:** Front Range Fire – Annexation and Zoning Request
- ACTION PROPOSED:** Public hearing for consideration of Front Range Fire Rescue Annexation and proposed Zoning
- LOCATION:** North of Highway 60, East of Telep Ave, situated by Front Range Fire Station 1 consisting of approximately 0.1 acres.
- ATTACHMENTS:**
1. Resolution 2024-05 setting fourth annexation proceedings
  2. Front Range Fire Annexation Petition
  3. Vicinity Map
  4. Annexation Map
  5. Zoning Map
  6. Annexation Impact Study
- PRESENTED BY:** Lilly Cory, Planner I

---

### BACKGROUND & SUMMARY

Front Range Fire District formally submitted an updated annexation petition on December 19, 2023 with the proposed zoning of PD-R to match the remainder of the site. The subject property consists of approximately 4268.88 square feet, situated in Lot 1, Phase 5 of Rolling Hills Ranch, Town of Johnstown, County of Weld, and State of Colorado. More commonly known as the northeast corner of Front Range Fire Station 1, North of Highway 60 and East of Telep Ave.

The subject property is presently zoned Agriculture (A) in unincorporated Weld County. This small triangular shaped section of land borders incorporated lands within the Town of Johnstown on the west and south. Islands of unincorporated lands exist to the north and east. Small unincorporated islands of land are typically created as a result of non-concurrent development over time, wherein land is sometimes swapped and traded amongst property owners to support individual development projects. This appears to be the case with the subject property, so the

proposed annexation will effectively eliminate part of the island conditions in the vicinity and clean up this boundary issue. The Front Range Fire Department owns the subject property and it currently houses their flagpoles.

**SURROUNDING ZONING & LAND USE**

- North: AG – Unincorporated Weld County – existing residence and ag lands
- South: PD-R – Residential Town of Johnstown – Front Range Fire Station 1
- East: AG – Unincorporated Weld County – existing agricultural land
- West: PD-R – Residential Johnstown – Rolling Hills Ranch Subdivision

**LAND USE HISTORY**

Historically, this property has been used to house the flagpoles for Front Range Fire Station 1 and will continue to do so upon annexation.

**PUBLIC NOTICE & AGENCY REFERRALS**

Notice for the opening of the public hearing was published in the Johnstown Breeze, on February 8<sup>th</sup>, 2024. Pursuant to Section 17.2.F3 of the Johnstown Municipal Code, notices for Planning and Zoning Commission were mailed to all property owners within 800 feet of the property in question on the 18<sup>th</sup> of January 2024. Additional notices will be mailed prior to the Town Council public hearing on March 18<sup>th</sup>, 2024. Notices included a map of the proposed annexation and proposed zoning for residents to review. State required annexation packets were sent out on February 6<sup>th</sup>, 2024, to the respective county and special districts to inform them of the hearing date and annexation.

**NEIGHBORHOOD MEETING**

A neighborhood meeting was not held for this meeting due to the size of the subject property and no anticipated change of use with proposed zoning.

**PROJECT DESCRIPTION & ANALYSIS**

**Annexation:** This annexation is being considered by the Town for the following reasons:

1. At least 1/6 of the area to be annexed for each individual annexation is contiguous to the Town of Johnstown boundary.
2. The property is located within the Town of Johnstown Growth Management Area.
3. The Town can provide water, sewer, and police services to the property.
4. The Town is authorized to annex the area without an election under Section 30(b) of Article II of the Colorado Constitution.

A resolution finding Substantial Conformance with C.R.S. requirements was passed by the Town Council on February 5<sup>th</sup>, 2024, and set the public hearing for March 18<sup>th</sup>, 2024.

*The Community that Cares*

## INFRASTRUCTURE

No additional infrastructure will be required at this time as a result of the proposed annexation.

## COMPREHENSIVE PLAN COMPLIANCE

The Johnstown Comprehensive Plan (Comp Plan) creates a long-term vision for the development of the town. The Comp Plan identifies the Town's Growth Management Area (GMA), which includes incorporated lands within the current town limits, as well as certain unincorporated lands within Larimer and Weld counties. The GMA can be likened to a growth boundary, which represents the logical expansion of the town over time. The property which is the subject of this annexation is contiguous to lands within the corporate boundary of Johnstown and exists within the GMA. Staff finds that the proposed annexation represents a logical expansion of Johnstown's corporate boundary.

## STRATEGIC PLAN COMPLIANCE

**Goal: Expect and encourage community centered design.**

*Strategy: Guide growth in the community through appropriate annexation, zoning, planning, and land use development.*

Staff finds that the proposed annexation and zoning is consistent with the goal and strategy referenced above, pursuant to the adopted Johnstown Strategic Plan.

## Staff Recommendation

Staff finds that the proposed annexation and zoning are complementary, comply with state statutes, and satisfy the requirements of the Johnstown Land Use & Development Code; therefore, staff recommends that the commission recommend that the Town Council approve the Front Range Fire Annexation and Zoning.

Planner: Lilly Cory

## PLANNING AND ZONING MOTIONS:

**Approval:** Based on the information presented and the content and findings in the staff report, I motion to

- A. Recommend that the Town Council approve annexation case ANNEX 22-0004, more commonly known as Front Range Fire Rescue Annexation; and,
- B. Recommend that the Town Council approve a zoning designation of PUD-R on the subject property to match the balance of the existing Front Range Fire Rescue property.

**Alternative Motions:**

**Approve Annexation and Deny Zoning:** Based on the information presented and the content and findings in the staff report, I motion to

- A. Recommend that the Town Council approve annexation case ANNEX 22-0004, more commonly known as Front Range Fire Rescue Annexation; and,
- B. Recommend that the Town Council deny a zoning designation of PUD-R on the subject property for the following reasons...

**Denial:** Based on the information presented and the content and findings in the staff report, I motion that the Town Council deny annexation case ANNEX 22-0004, more commonly known as Front Range Fire Rescue Establishment of Zoning. due to the following reasons...

**TOWN OF JOHNSTOWN, COLORADO  
RESOLUTION NO. 2024-05**

**A RESOLUTION FINDING SUBSTANTIAL COMPLIANCE FOR  
INITIATING ANNEXATION PROCEEDINGS AND SETTING A  
PUBLIC HEARING DATE FOR THE FRONT RANGE FIRE  
RESCUE FIRE PROTECTION DISTRICT ANNEXATION**

**WHEREAS**, the Town of Johnstown (“Town”) is a Colorado home rule municipality, duly organized and existing under the laws of the State of Colorado and the Town’s Home Rule Charter; and

**WHEREAS**, the Town Council is vested with the authority to administer the affairs of the Town; and

**WHEREAS**, on or about December 19, 2023, Front Range Fire Rescue Fire Protection District, a special district organized and existing pursuant to § 32-1-101, C.R.S., et seq., submitted a Petition for Annexation; and

**WHEREAS**, the Town Council has reviewed the Petition for Annexation, and, finding substantial compliance as set forth below, desires to initiate annexation proceedings in accordance with the law and set a public hearing.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO, THAT:**

**Section 1.** The Town Council finds that a Petition for Annexation of certain property situated in the Southeast Quarter of Section 6, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado, consisting of approximately 0.098 acres, being more particularly described on Exhibit A, which is attached hereto and incorporated herein by this reference, filed with the Town Clerk on or about December 19, 2023, to be known as the “Front Range Fire Rescue Fire Protection District Annexation,” is in substantial compliance with §31-12-107(1), and that a public hearing should be held to determine if the proposed annexation complies with §§31-12-104 and 31-12-105, C.R.S., or such parts thereof as may be required to establish eligibility pursuant to §31-12-101, *et seq.*

**Section 2.** The Town Council hereby sets a public hearing for such purposes on March 18th, 2024, at 7:00 p.m., at 450 South Parish Avenue, Johnstown, Colorado.

**Section 3.** The Town Clerk shall publish notice of the hearing once per week for four (4) consecutive weeks in the *Johnstown Breeze*, with the first publication at least thirty (30) days prior to the date of the hearing. The Town Clerk shall also send a copy of the published notice, together with a copy of this Resolution and the Petition for Annexation, by registered mail to the Weld County Board of County Commissioners and to the Weld County Attorney and to any special district or school district having territory within the area to be annexed at least twenty-five (25) days prior to the date fixed for such hearing.

**Section 4.** This Resolution shall be effective on the date hereof.

PASSED, SIGNED, APPROVED, AND ADOPTED THIS 5 day of February, 2024.

ATTEST:

By: Hannah Hill  
Hannah Hill, Town Clerk



TOWN OF JOHNSTOWN, COLORADO

By: Troy D. Mellon  
Troy D. Mellon, Mayor

**PETITION FOR ANNEXATION**  
**To the Town of Johnstown**  
(Weld County)

The undersigned, in accordance with Article 12, Chapter 31, CRS, as amended, hereby petition the Town Council of the Town of Johnstown, Colorado, for annexation to the Town of Johnstown the unincorporated territory more particularly described below, currently known as the Northeast corner of the FRFR Fire Station #1 parcel, and in support of said Petition, your petitioners allege that:

- (1) It is desirable and necessary that the following described territory be annexed to the Town of Johnstown, Colorado:

See Exhibit A attached hereto and made a part hereof.

- (2) Not less than one-sixth (1/6) of the perimeter of that area proposed to be annexed is contiguous with the Town of Johnstown, Colorado.
- (3) A community of interest exists between the territory proposed to be annexed and the Town of Johnstown, Colorado.
- (4) The territory proposed to be annexed is urban;
- (5) The territory proposed to be annexed is integrated with the Town of Johnstown, Colorado;
- (6) The signatures of the Petition comprise one hundred percent (100%) of the landowners of the territory to be included in the area proposed to be annexed and said landowners attesting to the facts and agreeing to the conditions herein contained will negate the necessity of any annexation election;
- (7) No land held in identical ownership, whether consisting of one tract or parcel of real estate or two or more contiguous tracts or parcels of real estate:
- (a) Is divided into separate parts or parcels without the written consent of the landowner or landowners thereof, unless such tracts or parcels are separated by a dedicated street, road or other public way;
- (b) Comprising twenty (20) acres or more and which, together with the building and improvements situated thereon has an assessed value in excess of Two Hundred Thousand Dollars (\$200,000.00) for ad valorem tax purposes to be annexed without the written consent of the landowner or landowners.



- (8) No part of the area proposed to be annexed is more than three miles from a point on the municipal boundary, as such was established more than one year before this annexation will take place;
- (9) The area proposed to be annexed comprises less than one acre and an impact report as provided in Section 31-12-105.5, CRS, as amended, is not required.
- (10) The area proposed to be annexed is located within Weld County, School District RE-5J - Johnstown, Big Thompson Conservation, Front Range Fire Rescue Fire Protection District, High Plains Library District, Northern Colorado Water Conservancy District, Thompson Rivers Parks and Recreation District, Aims Junior College District, and no others;
- (11) The mailing address of each signer, the legal description of the land owned by each signer and the date of signing of each signature are all shown on this Petition;
- (12) Accompanying this Petition are five (5) prints of the area proposed to be following information:
  - (a) A written legal description of the boundaries of the area proposed to be annexed;
  - (b) A map showing the boundary of the area proposed to be annexed, such map prepared and containing the seal of a registered engineer or land surveyor;
  - (c) Within the annexation boundary map there is shown the location of each ownership tract in unplatted land, and if part or all of the area is to be platted at the time of the effectiveness of the annexation (as opposed to after such effectiveness), then the boundaries and the plat number of plots or of lots and blocks are shown;
  - (d) Next to the boundary of the area proposed to be annexed is drawn the contiguous boundary of the Town of Johnstown, and the contiguous boundary of any other municipality abutting the area proposed to be annexed;
  - (e) The dimensions of the contiguous boundaries are shown on the map.
- (13) The territory to be annexed is not presently a part of any incorporated city, city and county, or town;
- (14) The undersigned agree to the following conditions, which shall be covenants running with the land, and which shall, at the option of the Town, appear on the annexation map:

- (a) Water rights shall be provided as mutually agreed to by the Town and the undersigned; The undersigned specifically agree that they have not sold or transferred any water rights appurtenant to their property within the past year nor will they do so during the pendency of this annexation petition and once annexed to the Town of Johnstown, they will not sell or transfer any water rights appurtenant to the subject property without the prior written approval of the Johnstown Town Council.
- (b) The owners shall participate in providing drainage plan and improvements and payment of a unit drainage fee as may be required by the Town the area;
- (c) The undersigned hereby waive any and all "vested rights" previously created pursuant to Section 24-68-103, CRS, as amended.
- (d) The undersigned and the Town may enter into an Annexation Agreement prior to the effective date of this annexation, which agreement shall be additional conditions as effectively as if set forth in this Petition.
- (15) Petitioner represents that: (Check one)
- No part of the property to be annexed is included within any site specific development plan approved by Weld County, Colorado.
- A site specific development plan has been approved by Weld County, Colorado, which has created a vested right.
- (16) Submitted with this Petition is the required \$\_\_\_\_\_.00 for publication costs.

EXECUTED this 19<sup>th</sup> day of Dec, 2023.

By: *J. Michael West*

Name: J. MICHAEL WEST

Title: FIRE CHIEF

Name of Annexation: FRFR STATION #1

STATE OF COLORADO )  
 )ss  
COUNTY OF WELD )

Subscribed and sworn to before me this 19 day of December,  
2023 by J. MICHAEL WEST as FIRE CHIEF of  
FRONT RANGE FIRE RESCUE on behalf of  
BOARD OF DIRECTORS.

WITNESS my hand and official seal.

My commission expires: 12-29-2025

CYNTHIA A. HESEMANN  
Notary Public  
State of Colorado  
Notary ID # 20174052865  
My Commission Expires 12-29-2025

*Cynthia A. Heesemann*  
Notary Public

**AFFIDAVIT OF CIRCULATOR**

The undersigned, being of lawful age, who being first duly sworn upon oath, deposes and says:

That (he or she) was the circulator of the foregoing Petition for Annexation of lands to the Town of Johnstown, Colorado, consisting of \_\_\_\_\_ pages, including this page and that each signature thereon was witnessed by your affiant and is the true signature of the person whose name it purports to be.

\_\_\_\_\_  
Circulator

STATE OF COLORADO    )  
  )ss  
COUNTY OF                )

The foregoing Affidavit of Circulator was subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, A.D., \_\_\_\_\_, by \_\_\_\_\_.

Witness my hand and official seal.

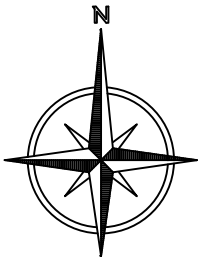
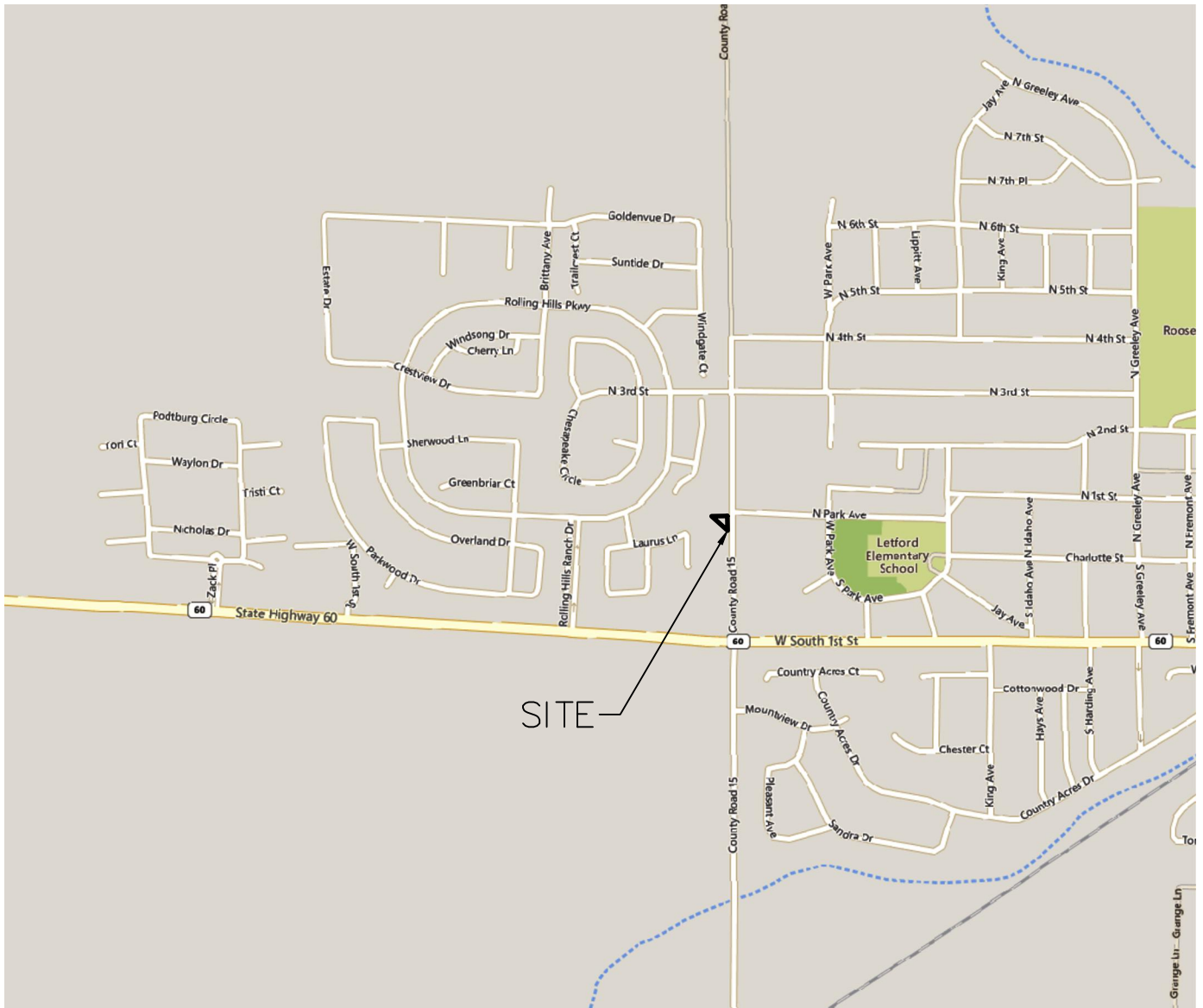
My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

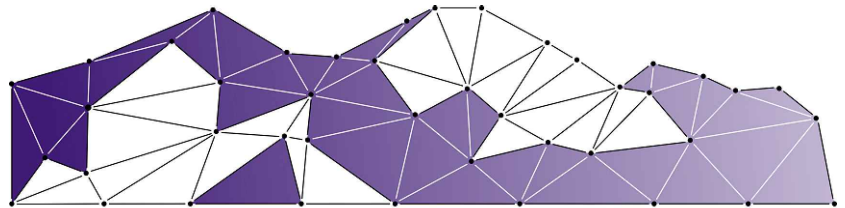


# VICINITY MAP

Item 5.



Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (CRS 13-80-105)



## MAJESTIC SURVEYING

Steven Parks, PLS 38348  
On behalf of Majestic Surveying, LLC

PROJECT NO: 2022198  
DATE: 8-8-2022

CLIENT: FRFR  
SCALE: 1"=1000'

# FRFR STATION 1 ANNEXATION

## TO THE TOWN OF JOHNSTOWN, COLORADO

### SITUATE IN THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

#### 0.098 ACRES

**PROPERTY DESCRIPTION**

LOT 1, ROLLING HILLS RANCH PHASE 5, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.

TOGETHER WITH THOSE PORTIONS AS CONVEYED BY DEED RECORDED AUGUST 30, 2005 AT RECEPTION NO. 3318001 AND CORRECTION DEED RECORDED JANUARY 18, 2007 AT RECEPTION NO. 3449444 AND CORRECTION DEED RECORDED MAY 8, 2007 AT RECEPTION NO. 3474369 AND DEED RECORDED DECEMBER 11, 2019 AT RECEPTION NO. 4548956 AND DEED RECORDED OCTOBER 23, 2020 AT RECEPTION NO. 4643684.

EXCEPTING THOSE PORTIONS AS CONVEYED BY DEED RECORDED AUGUST 30, 2005 AT RECEPTION 3318000 AND CORRECTION DEED RECORDED JANUARY 18, 2007 AT RECEPTION NO. 3449444 AND DEED RECORDED DECEMBER 11, 2019 AT RECEPTION NO. 4548957 AND DEED RECORDED OCTOBER 23, 2020 AT RECEPTION NO. 4643683.

**PROPERTY DESCRIPTION**

A tract of land, being part of that parcel described in the Quitclaim Deed recorded October 23, 2020, as Reception No. 4643684 of the records of the Weld County Clerk and Recorder (WCCR), situate in the Southeast Quarter (SE1/4) of Section Six (6), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, and being more particularly described as follows:

COMMENCING at the Southeast corner of said Section 6, monumented by a #6 rebar with 3.25" aluminum cap stamped LS 38346 and assuming the East line of said SE1/4 as bearing North 00°38'10" West, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2650.75 feet, monumented by a #6 rebar with 3.25" aluminum cap stamped LS 23520 at the East Quarter corner and with all other bearings contained herein relative thereto;

THENCE North 00°38'10" West, along said East line, a distance of 749.89 feet;  
 THENCE South 89°13'36" West a distance of 30.00 feet to a point on the West Right of Way (ROW) of Weld County Road 15, said point being the Northeast corner of said Reception No. 4643684 and to the POINT OF BEGINNING;

THENCE South 00°38'10" East, along said West ROW, a distance of 89.05 feet to the Southeast corner of the Excepted Parcel described in Rolling Hills Ranch Annexation to the Town of Johnstown, recorded October 4, 1996, as Reception No. 2514298 of the records of the WCCR;

THENCE North 47°50'25" West, along the Southwesterly line of said Excepted Parcel, a distance of 130.73 feet to the North line of said Reception No. 4643684;  
 THENCE North 89°13'36" East, along said North line, a distance of 95.93 feet to the POINT OF BEGINNING;

Said described parcel of land contains 4,271 Square Feet or 0.098 Acres, more or less (+/-).

**OWNER:** Front Range Fire Rescue Fire Protection District, as the successor entity to Johnstown Fire Protection District

By: \_\_\_\_\_ As: \_\_\_\_\_

Witness my hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**NOTARIAL CERTIFICATE**

STATE OF COLORADO )  
 COUNTY OF LARIMER )  
 The foregoing instrument was acknowledged before me by \_\_\_\_\_ as \_\_\_\_\_ this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Witness my Hand and Official Seal.

My commission expires: \_\_\_\_\_.

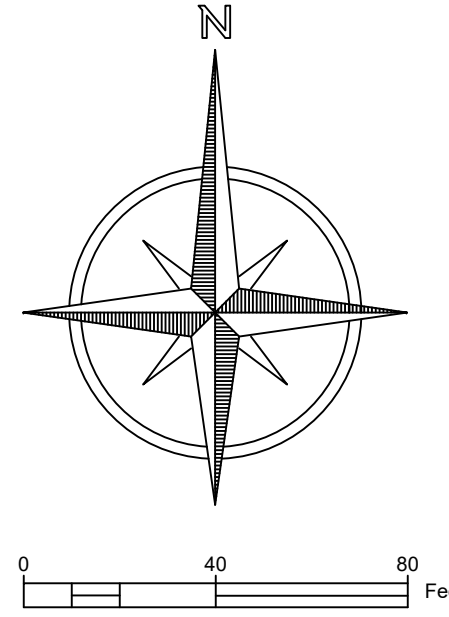
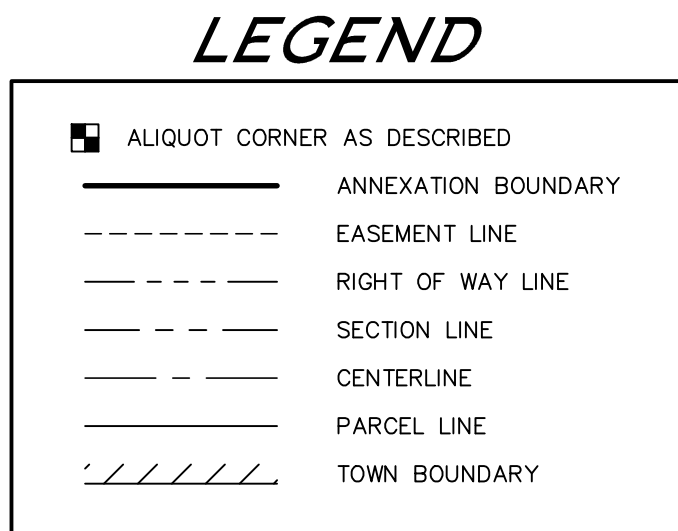
**TOWN COUNCIL APPROVAL**

This Map to be known as FRFR STATION 1 ANNEXATION is approved and accepted to the Town of Johnstown, Colorado by Ordinance Number \_\_\_\_\_, passed and adopted on final reading at a regular meeting of the Town Council of the Town of Johnstown, Colorado held on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 Gary Lebsack, Mayor Attest: \_\_\_\_\_  
 Town Clerk

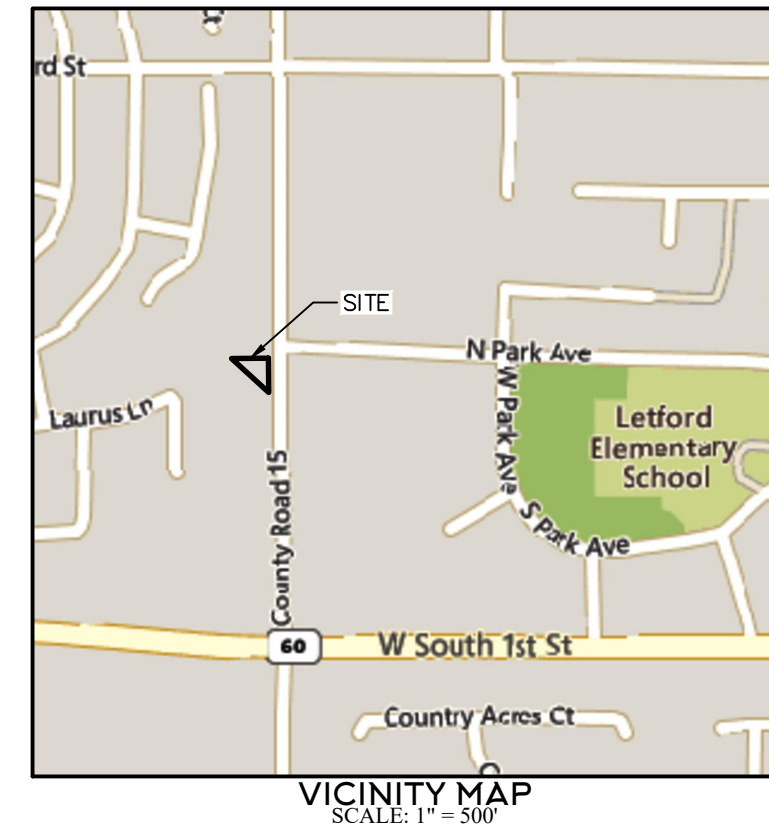
**SURVEYOR'S CERTIFICATE**

I, Steven Parks, a Colorado Licensed Professional Land Surveyor, do hereby state that this Annexation Map is an accurate representation of the property to the best of my knowledge, information, belief, and in my professional opinion. I further state that this certificate does not extend to any unnamed parties or the successors and/or assigns.



**ANNEXATION TABLE**

TOTAL BOUNDARY: 315.71 L.F.  
 CONTIGUOUS BOUNDARY: 219.78 L.F.  
 1/6 OF TOTAL BOUNDARY 52.62 L.F.  
 RATIO 1:1.44



**BASIS OF BEARINGS AND LINEAL UNIT DEFINITION**

Assuming the East line of the Southeast Quarter of Section 6, Township 4 North, Range 67 West of the 6th P.M. monumented as shown on this drawing, as bearing North 00°38'10" West, being a Grid Bearing of the Colorado State Plane, North Zone, North American Datum 1983/2011, a distance of 2650.75 feet and with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot".

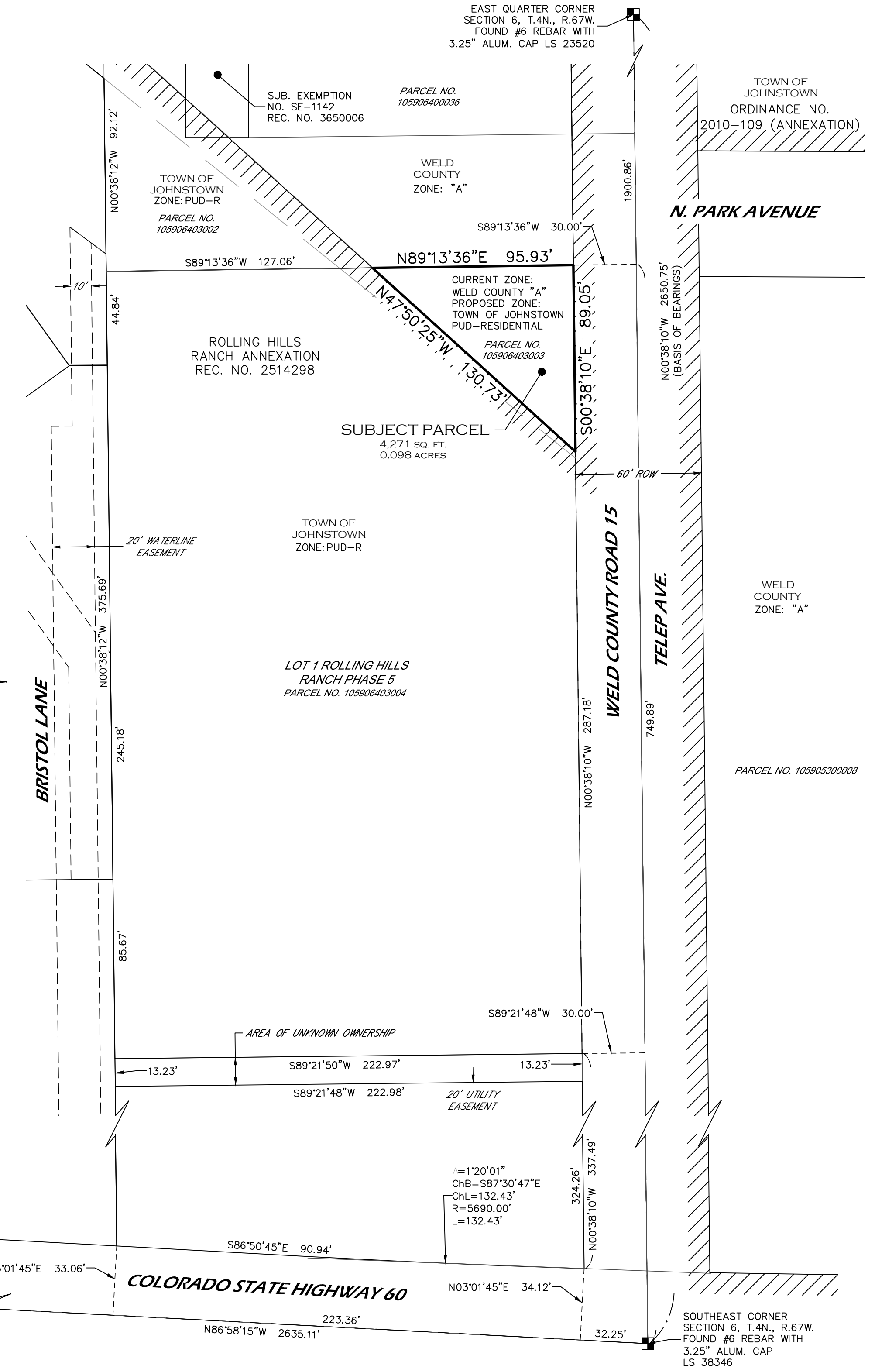
**TITLE COMMITMENT NOTE**

For all information regarding easements, rights-of-way and title of records, Majestic Surveying, LLC relied upon Title Commitment Number FCIF25197625, dated January 2, 2024, as prepared by Land Title Guarantee Company to delineate the aforesaid information.

This survey does not constitute a title search by Majestic Surveying, LLC to determine ownership or easements of record.

**NOTICE**

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)



# PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC  
 Colorado Licensed Professional Land Surveyor #38348



PROJECT NO: 2022198	PROJECT NAME: 100 TELEP AVE.	REVISIONS:	DATE:
DATE: 1-10-2024	CLIENT: FRFR	REDLINES	8-8-22
DRAWN BY: MAK	FILE NAME: 2022198_ANNEX	REDLINES	1-10-24
CHECKED BY: SIP	SCALE: 1" = 40'		

# FRFR STATION 1 ZONING MAP

## SITUATE IN THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO.

**PROPERTY DESCRIPTION**

A tract of land, being part of that parcel described in the Quitclaim Deed recorded October 23, 2020, as Reception No. 4643684 of the records of the Weld County Clerk and Recorder (WCCR), situate in the Southeast Quarter (SE1/4) of Section Six (6), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, and being more particularly described as follows:

COMMENCING at the Southeast corner of said Section 6, monumented by a #6 rebar with 3.25" aluminum cap stamped LS 38346 and assuming the East line of said SE1/4 as bearing North 00°38'10" West, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2650.75 feet, monumented by a #6 rebar with 3.25" aluminum cap stamped LS 23520 at the East Quarter corner and with all other bearings contained herein relative thereto;

THENCE North 00°38'10" West, along said East line, a distance of 749.89 feet;  
 THENCE South 89°13'36" West a distance of 30.00 feet to a point on the West Right of Way (ROW) of Weld County Road 15, said point being the Northeast corner of said Reception No. 4643684 and to the POINT OF BEGINNING;

THENCE South 00°38'10" East, along said West ROW, a distance of 89.05 feet to the Southeast corner of the Excepted Parcel described in Rolling Hills Ranch Annexation to the Town of Johnstown, recorded October 4, 1996, as Reception No. 2514298 of the records of the WCCR;  
 THENCE North 47°50'25" West, along the Southwesterly line of said Excepted Parcel, a distance of 130.73 feet to the North line of said Reception No. 4643684;  
 THENCE North 89°13'36" East, along said North line, a distance of 95.93 feet to the POINT OF BEGINNING;

Said described parcel of land contains 4,271 Square Feet or 0.098 Acres, more or less (±).

**OWNER:** Front Range Fire Rescue Fire Protection District, as the successor entity to Johnstown Fire Protection District

By: \_\_\_\_\_ As: \_\_\_\_\_

Witness my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

**NOTARIAL CERTIFICATE**

STATE OF COLORADO )  
 COUNTY OF LARIMER )  
 The foregoing instrument was acknowledged before me by \_\_\_\_\_ as \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.  
 Witness my Hand and Official Seal.  
 My commission expires: \_\_\_\_\_.

**TOWN COUNCIL APPROVAL**

This Map to be known as FRFR STATION 1 ZONING MAP is approved and accepted to the Town of Johnstown, Colorado by Ordinance Number \_\_\_\_\_, passed and adopted on final reading at a regular meeting of the Town Council of the Town of Johnstown, Colorado held on the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

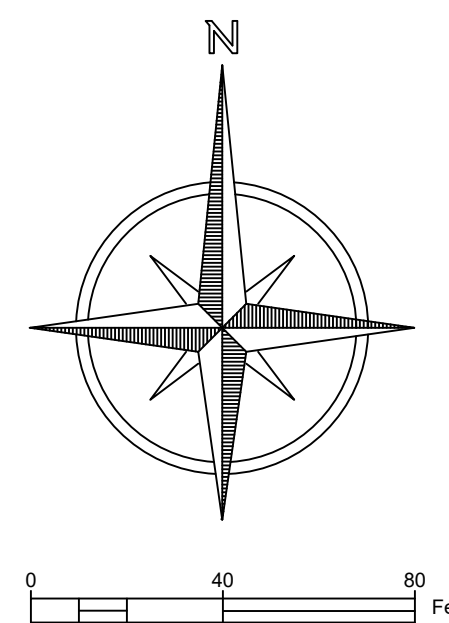
Attest: \_\_\_\_\_  
 Gary Lebsack, Mayor Town Clerk

**SURVEYOR'S CERTIFICATE**

I, Steven Parks, a Colorado Licensed Professional Land Surveyor, do hereby state that this Zoning Map is an accurate representation of the property to the best of my knowledge, information, belief, and in my professional opinion. I further state that this certificate does not extend to any unnamed parties or the successors and/or assigns.

**LEGEND**

	ALIQUOT CORNER AS DESCRIBED
	ZONING BOUNDARY
	EASEMENT LINE
	RIGHT OF WAY LINE
	SECTION LINE
	CENTERLINE
	PARCEL LINE



**Owner:** Front Range Fire Rescue Fire Protection District  
 101 S. Irene Ave  
 Milliken, CO 80543

**Applicant:** Bernie Covillo  
 101 S. Irene Ave  
 Milliken, CO 80543  
 970-587-4464

**Surveyor:** Majestic Surveying, LLC  
 C/O Steven Parks, PLS  
 1111 Diamond Valley Drive, Suite 104  
 Windsor, CO 80550  
 970-833-5698

**BASIS OF BEARINGS AND LINEAL UNIT DEFINITION**

Assuming the East line of the Southeast Quarter of Section 6, Township 4 North, Range 67 West of the 6th P.M. monumented as shown on this drawing, as bearing North 00°38'10" West, being a Grid Bearing of the Colorado State Plane, North Zone, North American Datum 1983/2011, a distance of 2650.75 feet and with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot".

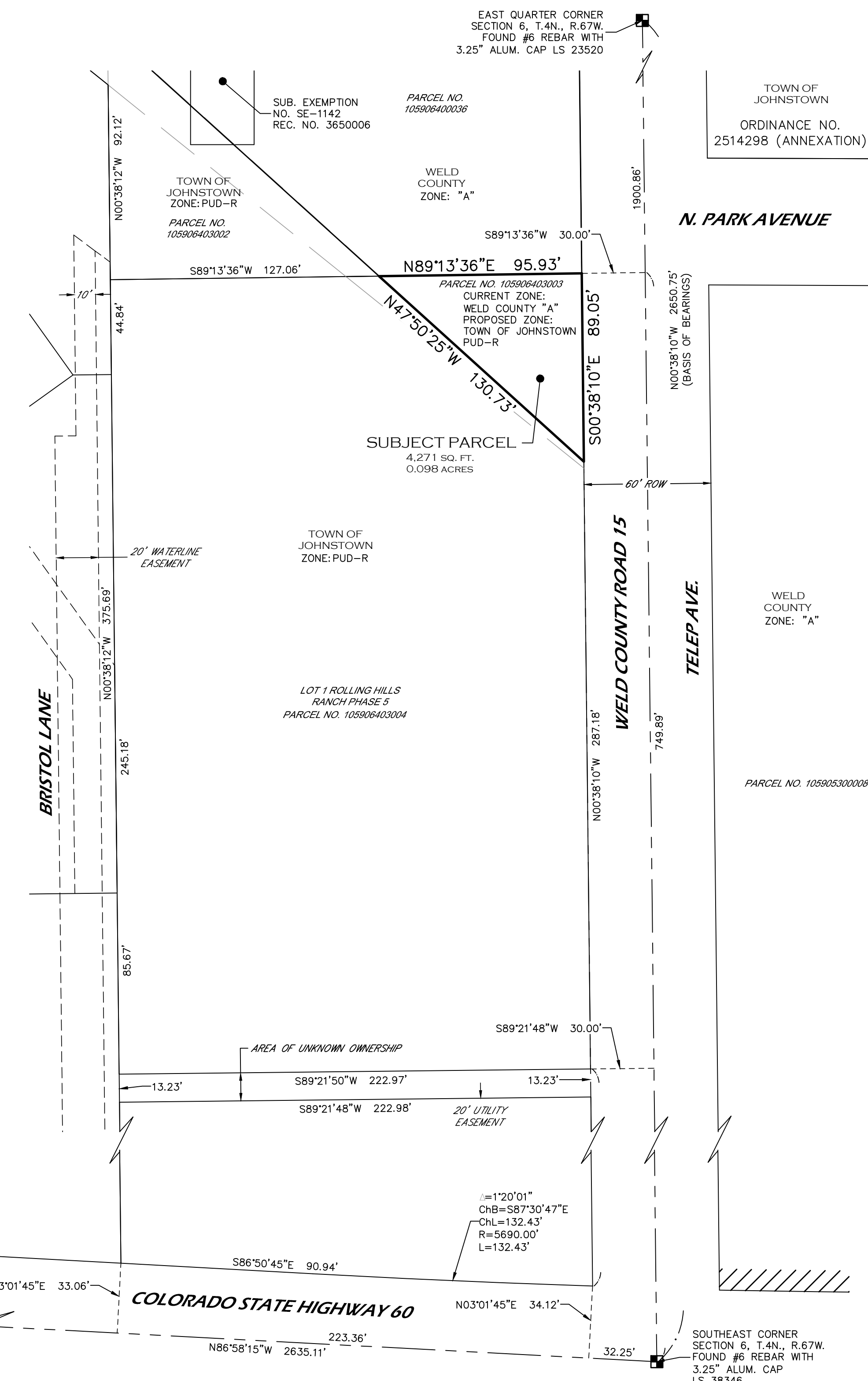
**TITLE COMMITMENT NOTE**

For all information regarding easements, rights-of-way and title of records, Majestic Surveying, LLC relied upon Title Commitment Number FCIF25197625, dated May 2, 2022, as prepared by Land Title Guarantee Company to delineate the aforesaid information.

This survey does not constitute a title search by Majestic Surveying, LLC to determine ownership or easements of record.

**NOTICE**

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)



PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC  
 Colorado Licensed Professional Land Surveyor #38348



PROJECT NO: 2022198	PROJECT NAME: 100 TELEP AVE.	REVISIONS:	DATE:
DATE: 7-15-2022	CLIENT: FRFR	REDLINES	8-8-22
DRAWN BY: MAK	FILE NAME: 2022198_ZONE		
CHECKED BY: SIP	SCALE: 1" = 40'		



# FRONT RANGE FIRE RESCUE STATION #1

## ANNEXATION IMPACT REPORT

1. A statement setting forth the plans of the municipality for extending to or otherwise providing for, within the area to be annexed, municipal services performed by or on behalf of the municipality at the time of annexation;

**This annexation involves a very small parcel of land at the northeast corner of the property that contains FRFR Fire Station #1. All utilities are already provided to the building and no new utilities will be required with this annexation.**

2. A statement setting forth the method under which the municipality plans to finance the extension of the municipal services into the area to be annexed;

**Municipal services are already provided to this overall FRFR parcel and do not need to be extended to the parcel being annexed.**

3. A statement identifying existing tax districts within the area to be annexed;

**The area proposed to be annexed is located within Weld County, Aims Junior College, Front Range Fire Rescue Fire Protection District, High Plains Library District, Northern Colorado Water, Weld RE-5J School District, Thompson River Red, and no others;**

**The existing FRFR fire station parcel is located within Weld County, Aims Junior College, Front Range Fire Rescue Fire Protection District, Town of Johnstown, Northern Colorado Water, Weld RE-5J School District, Thompson River Rec, and no others.**

TAXING ENTITIES	
MAIN STATION 1 PROPERTY	NE CORNER ANNEXATION
Aims Junior College	Aims Junior College
FRFR	FRFR
Johnstown	High Plains Library District
Northern Colorado Water	Northern Colorado Water
Weld RE-5J School District	Weld RE-5J School District
Thompson River Rec	Thompson River Rec
Weld County	Weld County

4. A statement on the effect of annexation upon local public school district systems, including the estimated number of students generated and the capital construction required to educate such students.

**There will be no impact on the public school district system.**

5. A map (or maps) of the municipality and adjacent territory to show the following information:

- a. The present and proposed boundaries of the municipality in the vicinity of the proposed annexation;

**See Annexation Plat as part of application.**

- b. The present streets, major trunk water mains, sewer interceptors and outfalls, other utility lines and ditches, and the proposed extension of such streets and utility lines in the vicinity of the proposed annexation (from Town master plans)

**There will be no changes or impacts to the streets or utilities.**

- c. The existing and proposed land use pattern in the areas to be annexed (Outline Development Plan);

**The current fire station parcel is located within Town of Johnstown Planned Unit Development – Residential (PUD-R) zoning, within Lot 1 Rolling Hills Ranch Phase 5 (Parcel No. 105906403004).**

**The parcel being annexed is Parcel No. 105906403003. FRFR desires to combine this parcel with the larger parcel previously described to create a single lot.**